



Specific Plan District Handbook

*4/16/03
see Ven prior to
signing off any home
bldg permits. Also see
supplemental info re:
architecture
Ven*

Prepared By:

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Prepared For:

**Wm. Bogard Company
1281 Terminal Way, Suite #201
Reno, NV 89502**

**Approved by Reno City Council
February 23, 1999**

Sept 14
Ordinance Adopted ↓, 1999



Office of the City Clerk

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April 14, 1999

Wm. Bogard Company of Nevada
1281 Terminal Way, Suite 201
Reno, NV 89502

RE: Case No. 171-99 (Belsera Subdivision) - AMENDED LETTER (Supercedes February 26, 1999, Clerk's Letter)

Dear Applicant:

At a regular meeting held February 23, 1999, and following a public hearing thereon, the City Council upheld the recommendation of the Planning Commission and approved your request for the following:

- A. Annexation of ± 23.56 acres, by ordinance;
- B. A zoning map amendment from SFR-9 (Single Family Residential-1 du/9,000 sq. ft.) on ± 3.34 acres and from LLR-2.5 (Large Lot Residential - 2.5 acres) upon annexation on ± 23.56 acres to SPD (Specific Plan District) on ± 26.9 acres, by resolution of intent, subject to the modifications to the SPD Handbook standards as contained in the attached Exhibit A and Exhibit 2;
- C. A tentative map to develop a 50 lot single family residential subdivision on a ± 26.9 acre site is located along the south side of McCarran Boulevard at its intersection with the Steamboat Ditch, $\pm 1,600$ feet west of its intersection with Greensboro Drive, subject to the following conditions; and
- D. Special use permits to allow: (1) hillside development; and (2) cuts of 20 feet or more and fills of 10 feet or more, subject to the following conditions:

All conditions shall be met to the satisfaction of Community Development Department staff, unless otherwise noted.

Zoning Map Amendment:

- A. (1) The SPD Handbook shall incorporate the changes indicated in the attached Exhibit A, the conditions of approval contained in the staff report and any other revisions deemed appropriate by the Planning Commission and City Council at their respective public hearings. No construction activity shall take place on the ±26.9 acre site until the SPD ordinance is in effect on the property.
- (2) The applicant shall revise and submit a final Development Standards Handbook and a statement of purpose and plan to staff within four months of the date of City Council approval; any revisions and corrections required by staff must be completed within two months from the date of notification by staff. Failure to comply with either of these time limits shall render this approval null and void.

Tentative Map and Special Use Permit:

1. The project shall comply with all applicable City codes, and plans, reports, materials, etc., as submitted. In the event of a conflict between said plans, reports and materials and City codes, City codes in effect at the time the building permit is applied for, shall prevail.
2. The applicant shall record the final map in accordance with the time limit contained in state law or this approval shall be null and void.
3. Prior to approval of a final map, the applicant shall institute a homeowners association with CC&R's to provide for maintenance of all common area improvements such as private streets, private drainage improvements, rockery walls, landscaping, signs, common area features, etc. The CC&R's shall be recorded concurrently with the final map with the appropriate recordation fee provided to staff by the applicant.
4. Prior to approval of a final map or issuance of a grading permit, whichever occurs first, the applicant shall demonstrate that the color of all rockery walls will be consistent with areas in which they will be placed.

5. Prior to approval of a final map or issuance of a grading permit, whichever occurs first, the applicant shall have approved a final rockery wall, landscaping/slope revegetation and irrigation plan consistent with the tentative map and the SPD standards. Any deviation from these plans shall require re-review of the project by the Planning Commission. The landscaping/slope revegetation and irrigation improvements shall be installed as soon as the rockery walls and associated grading are completed unless these improvements are bonded due to it being the non-growing/planting season as outlined in City code. All areas to be landscaped shall provide 75% vegetative coverage; and all areas to be revegetated shall provide 50% vegetative coverage within 3 years of the date of planting, with verification provided by a licensed landscape architect. The plans shall provide for stockpiling of top soil and vegetative strippings which shall be reapplied to all slope revegetation areas. Temporary irrigation, as necessary, and bonding to ensure proper re-establishment shall be required.
6. Prior to approval of a final map or grading permit, whichever occurs first, the applicant shall have plans approved to show the limits of grading and installation of appropriate barriers (e.g., hay bales, silt fencing) to prevent sediments and runoff from entering the Steamboat Ditch.
7. Prior to approval of a final map, the applicant shall enter into an agreement with the City to provide for maintenance of the median landscaping within the public portion of Belsera Drive.
8. All sanitary sewers shall be Public.
9. All storm drainage shall be Public with no contribution to the Steamboat Ditch, except for surface rear yard sheet flow only if accepted by the ditch company.
10. All retaining walls shall be constructed with mass grading. Walls shall require separate building permits and 701 inspections.
11. Paved access for maintenance equipment shall be provided to all sanitary and storm drain manholes not located in paved streets. This includes any off-site existing sewer manholes.
12. Prior to Council approval of any final map, the applicant shall submit a sewerage report to the approval of the City Engineer.

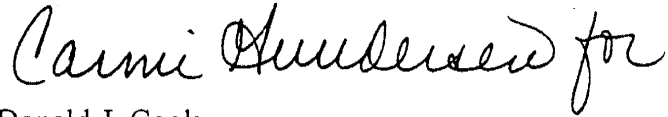
13. To prevent damage to structures due to storm waters over-topping the curb, building pads (finish grade) shall be set a minimum of one foot above the top of curb located at the point of primary access, or drainage around building pads shall be designed such that no building shall be subject to flooding as a result of storm waters over-topping the curb or driveway approach along any public or private street.
14. Prior to the issuance of any permit, the applicant shall comply with the Quality Assurance Program as set forth in the Public Works Design Manual, Chapter VI, titles "Inspection, Testing and Verification" and "Quality Assurance Program".
15. Left turn egress from the site onto McCarran Boulevard is prohibited. Prior to the issuance of any certificate of occupancy, the applicant shall complete site access improvements to the approval of the City Engineer, including but not limited to eastbound acceleration and deceleration lanes, intersection warning signs, a minimum of two 400 watt street lights, westbound left turn lane and related median modifications and restoration of the guardrail adjacent to the new improvements.
16. Prior to approval of a final map, the applicant shall offer for dedication an access easement for the property to the west (APN 222-080-01). The applicant shall enter into an agreement with the City of Reno to pave the road from Belsera Drive to the western property line at such time as determined necessary by the City of Reno staff.
17. Prior to Council approval of any final map, the applicant shall pay in cash to the City of Reno his proportionate share of the cost of installing bicycle lane signs and pavement markings on McCarran Boulevard.
18. Prior to approval of any final map, the applicant shall have an archaeological survey performed on the site to the satisfaction of State Historic Preservation Office and City staff. Should a resource of regional significance be found on the site, the applicant shall provide mitigation as determined appropriate by the consultant, State Historic Preservation Office and City staff, based upon the nature of the resource.

The zoning map amendment will become effective upon compliance with the conditions of the resolution of intent and passage and adoption of the appropriate ordinance.

A copy of this letter must be attached to your building plans when making application for a building permit with the Community Development Department.

Wm. Bogard Company of Nevada
Case No. 171-99 (Belsera Subdivision)
April 14, 1999
Page 5

Sincerely,



Donald J. Cook
City Clerk

DJC:cdg

xc: Development Services
 Traffic Design Engineer
 Ed Schenk, Parks, Recreation & Community Services
 John Media, Development Services
 State Historic Preservation Office
 Regional Transportation Commission
 Karen Melby, Codega Planning & Design

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Specific Plan District - Design Standards

Statement of Plan and Purpose

Belsera is a planned community with a thematic concept conveying the essences of an upscale Northern Italian Village. The handbook establishes the theme and project design standards while ensuring high quality development in Belsera.

Property Location

Belsera subdivision (AP # 042-011-02 and 023-260-22) is located south of McCarran Boulevard and east of the Steamboat Ditch, where Steamboat Ditch crosses McCarran Boulevard. Adjacent land uses include McCarran Boulevard to the north, Steamboat Ditch and single family homes to the east in Lakeridge, single family homes and vacant land to the south and vacant land to the west. Refer to Figure 1, Location Map on page 2.

Project Concept/Description

The thematic concept of Belsera is a Northern Italian Village. The villages in Northern Italy are nestled on hillsides using terracing, landscaping, and stepped homes. To reinforce the design theme, architectural elements consistent with the theme are incorporated into the homes. The plant palette consists of plants common to Northern Italy. The Belsera concept is to incorporate all these elements to create a comfortable and elegant community.

The Belsera subdivision consists of a total of fifty (50) lots on a 26.9 +/- acres. There will be two types of lots. Refer to Figure 2, Site Plan on page 3. The lots located along the east side of Belsera Drive will be a minimum of 15,000 square feet with a rear yard open space easement that can not be disturbed. The lots located along Tuscana Court will average 8,500 square feet in size with common area to the east of the lots. The largest lot is 45,434 square feet while the smallest lot is 7,037 square feet. The average lot size is 12,700 square feet. The gross density for the subdivision is 1.86 units per acre. There is 12.56± acres of open space which will be common area for Belsera, representing 46.7% of the site. Belsera is designed to maximize the views to the northeast and east by the lot orientation while at the same time ensuring the privacy of the existing homes located to the east. This will be accomplished by providing landscaping/enhanced native vegetation in the open space areas along the perimeter of the entire subdivision.

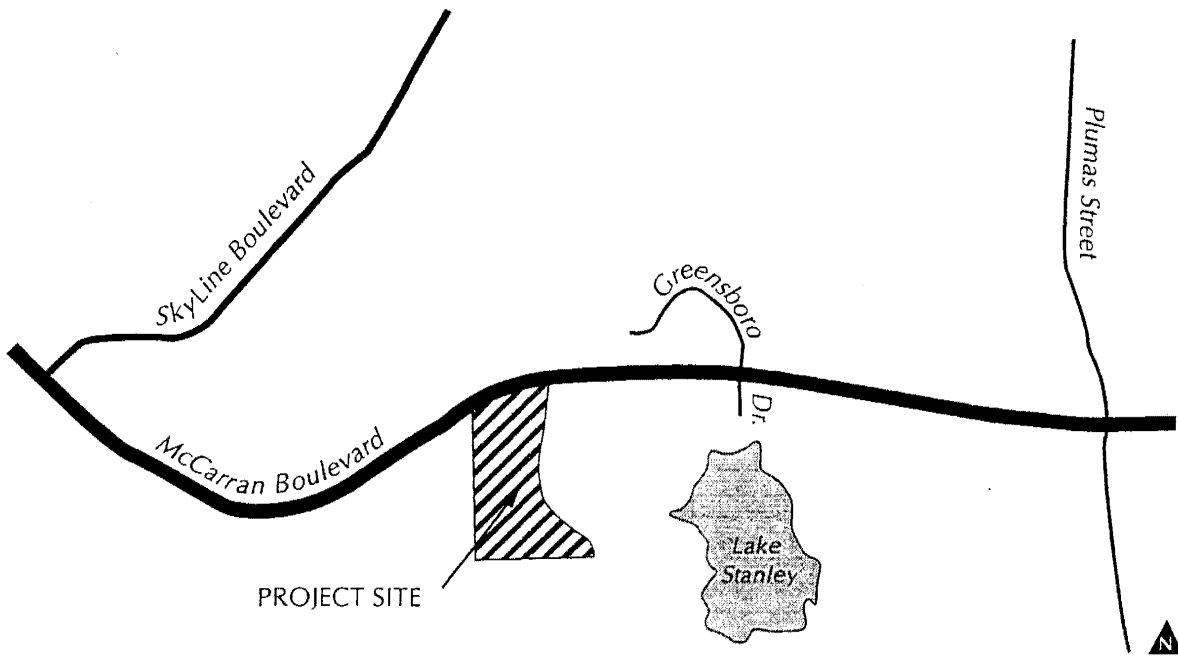


Figure 1 Location Map

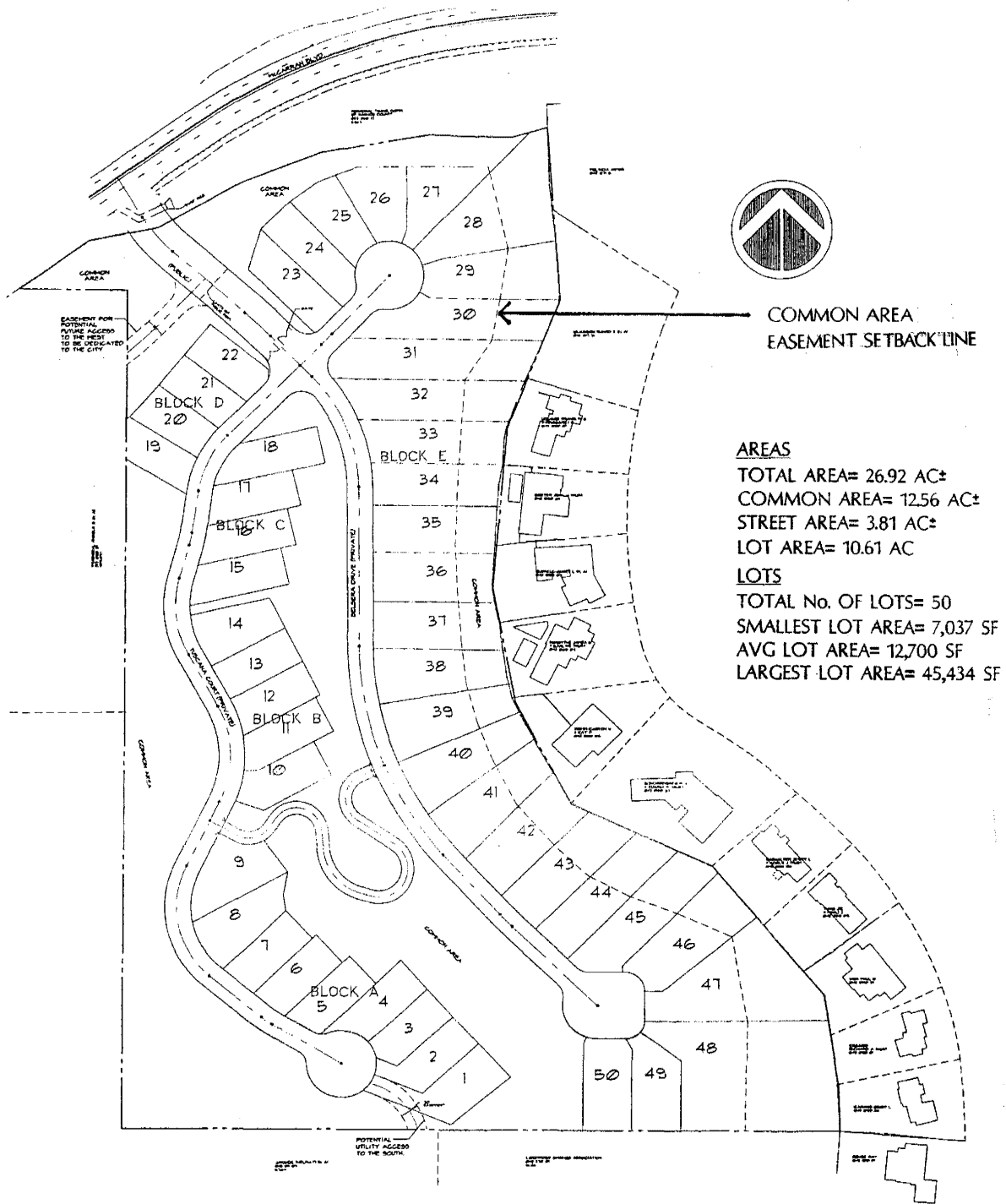


Figure 2 Site Plan

Site Planning Standards

Allowed Uses:

- Single family dwellings of a permanent nature.
- Accessory buildings customarily incident to the above uses, located on the same lot, including tool/storage shed, garden house, children's playhouse, private workshop and private greenhouse (aggregate square footage of accessory structures on each lot - 75 square feet maximum, 12 feet maximum overall height). Location shall not obstruct neighboring views.
- Temporary sales office and model homes.
- In home child care for the number of children legally permitted with one care giver.
- Structural additions to the original house and any other structure upon review and written approval of the project by Belsera homeowners association, prior to submittal to City for building permits. The proposed structures must conform to setbacks and accessory structure size and height limitations established in this Handbook.
- Home occupation in accordance with Reno Municipal Code.

Prohibited Uses:

- No recreational vehicle, boat or trailer storage is allowed outside of garages. Pickup trucks with campers, vehicles or vans up to 20 feet in length that serve as primarily transportation are exempted from this provision.
- Garages will not be converted into living space or used exclusively for storage and must maintain vehicle parking space(s), exclusive of the third garage.
- Second story decks.

Yards/Building Setbacks:

- Minimum Lot Area: 7,000 square feet for lots 1-27, 49 and 50.
15,000 square feet for lots 28-48.
- Front Yard: 10 feet with 15 feet on a minimum of 25% of the lots; 20 feet minimum driveway length on all lots.
- Side Yard: 5 feet one side and 7.5 feet other side from property line with the exception of an entry pavilion which may extend 2.5 feet, into the 7.5 foot side yard setback on a maximum 60% of the lots.
- Rear Yard: 10 feet from property line with the exception that lots 28-48 shall be 10 feet from Common Area Easement Line as shown on Figure 2, Site Plan on page 3 and Sheet I of the tentative map.
- Minimum Useable Rear Yard: 500 square feet at 7:1 slope or less.

Projections into Required Setbacks:

- The main floor decks on lots 28 through 48 can project a maximum of 10 feet into the rear setback line as described above in the Yard/Building Setback Section. Main floors decks shall not project past the common area easement line. There will be no decks allowed on the

second story.

- Second story balconies which do not project beyond the building plane may be permitted with the approval by the ARC and the City of Reno provided an adequate vegetative buffer can be provided in accordance with the Landscape Standards on page 23.
- Cornices, canopies, eaves, chimneys, or similar architectural features may extend a maximum of 2 feet into a required front, rear and side yard setbacks and are not to exceed more than 10% of each facade with architectural features.

Accessory Buildings:

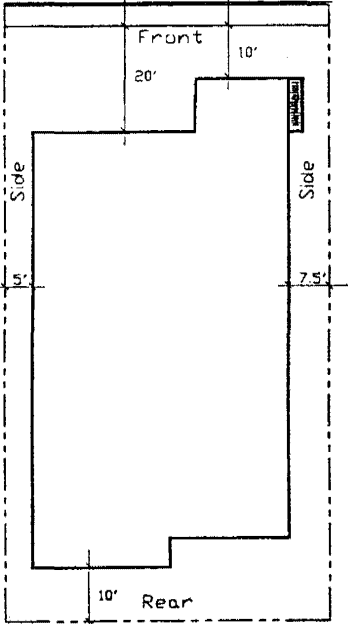
- Must be located behind main structure.
- Rear and side setbacks: same as required side and rear setbacks of house.
- Maximum overall height: 12 feet measured from average grade around the building to the peak of the roof structure.
- Minimum distance from main structure: 10 feet
- Building shall be approved by Belsera homeowner’s association prior to submittal for a building permit to City of Reno.
- Maximum aggregate square footage: 75 square foot of floor area.

Parking:

- Minimum two (2) car garage and two (2) parking spaces in driveway per house.

Height Limitation:

- Two Stories (including walk-out basement) 25 feet. Building height is measured from average grade around house to the ceiling of top floor.



*Note: Rear setback for lots 28 through 48 shall be as indicated on page 4 Rear Yard Setback.

Figure 3 Typical Yard Location Plan

Architecture

The basic thematic intent of Belsera is to convey the essence of an upscale Northern Italian village that one might find in the foothills of the Dolomites or Venetian Alps. The five elevation styles as shown in Figures 4, 5, 6, 7 and 8 on pages 7 thru 11 are the architectural elevations that will be used in the construction of this project. These elevations were derived from the regions of Venetian, Umbria, and Tuscany. There are five floor plans which can be combined with the architectural elevations to provide 12 housing options. Refer to Figures 9, 10, 11, 12 and 13 on pages 12 thru 16.

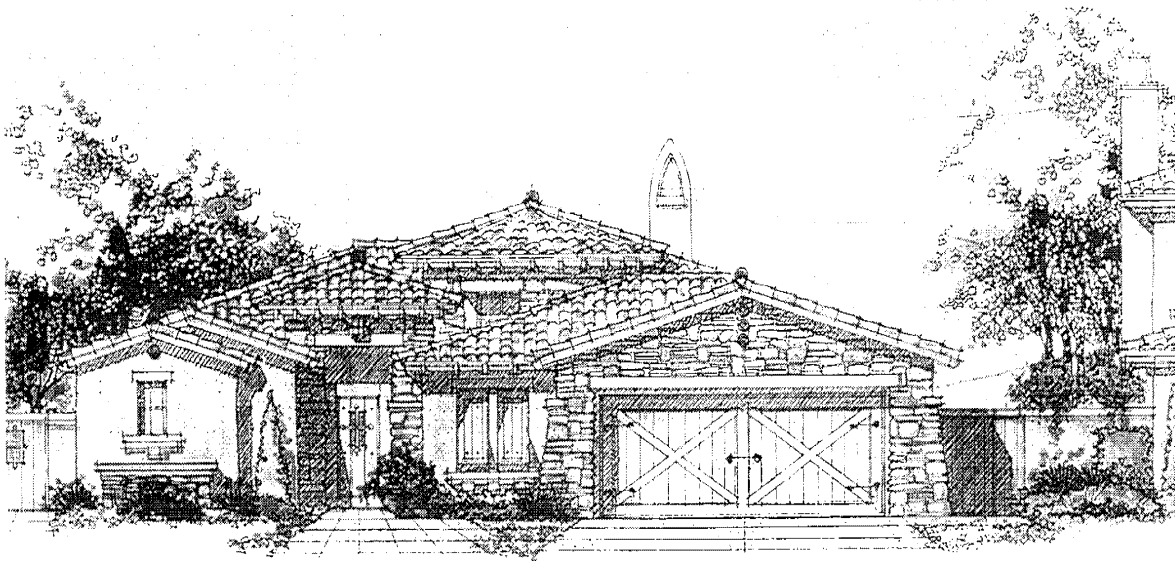
Exterior Materials/Colors

The house exterior's will be primarily stucco. Plaster and stone walls, with a mixture of flat and barreled colored roof tile will set the basic palette. Wood gates and shutters in recessed walls will impart the implication of thick stone wall construction and add shadow animation to the street scene. The entry pavilions will be an important element of the entry scheme directing guests into the courtyard and homes. The stucco will be in earth tones, blending into the hillside.

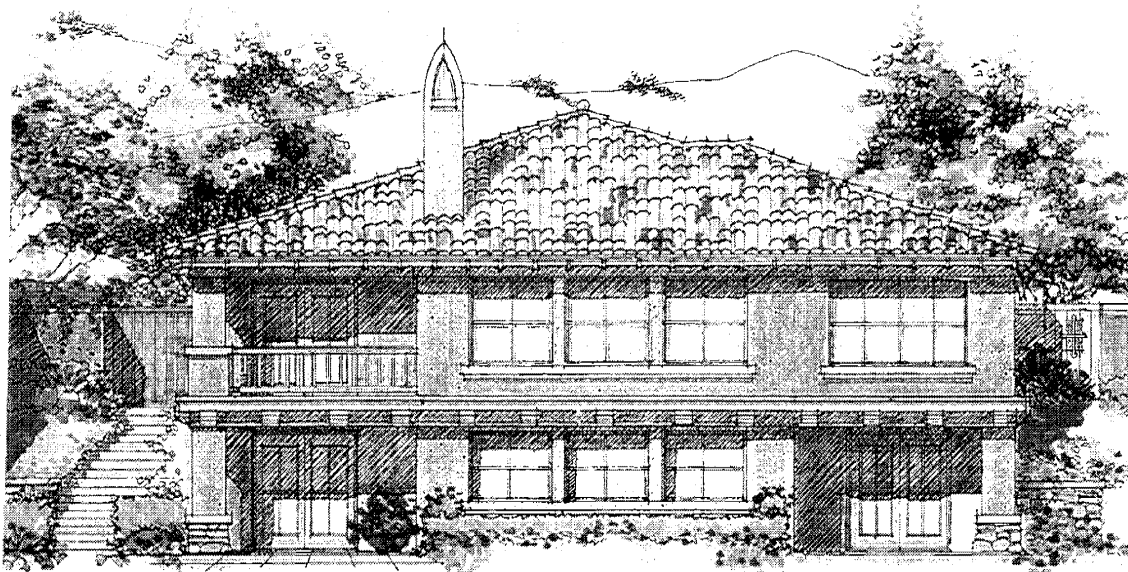
Earthen tone colors such as Terra cottas, Dove grays, Light Mocas, Light Brown Orchres, and Dark Beiges set the background palette. The accent colors include Slate Blues and Greens in addition to Warm Clay Rose, or Darker Grays.

Standards

- All garages located within 10 feet of the front property line shall be side loaded and shall contain windows, shutters and full architectural treatment consistent with main house.
- All houses shall be finished on all four sides with regard to rooflines, windows, and architectural features.
- With application for each building permit, a letter from the ARC must be provided approving the architecture and explaining how the house meets the architecture and color standards contained in this SPD Handbook.
- Minor adjustments to the architecture which are consistent with the project theme may be allowed with approval by ARC and City staff.

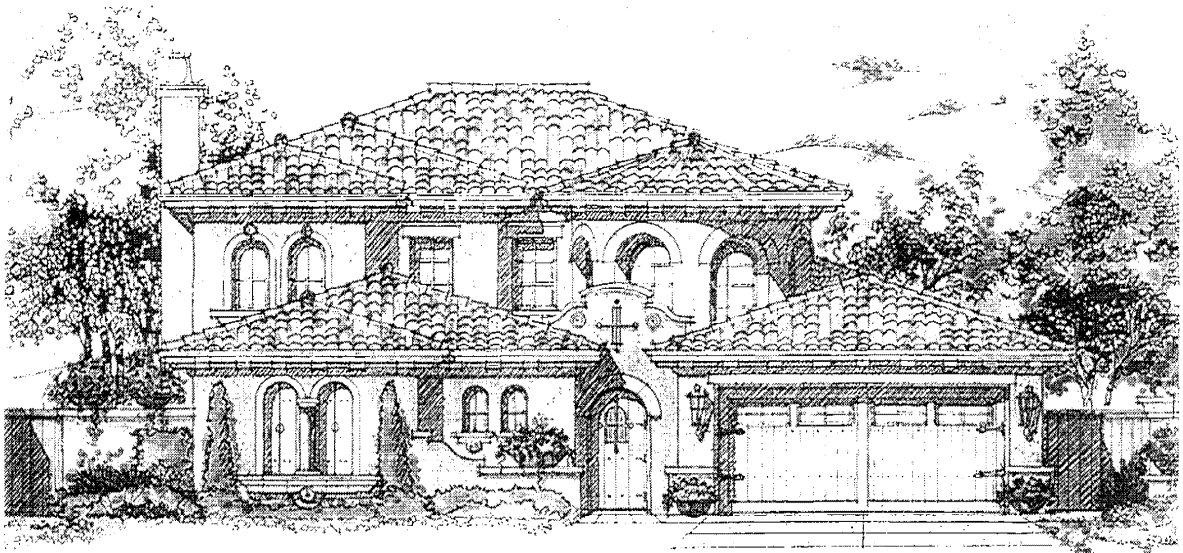


Front

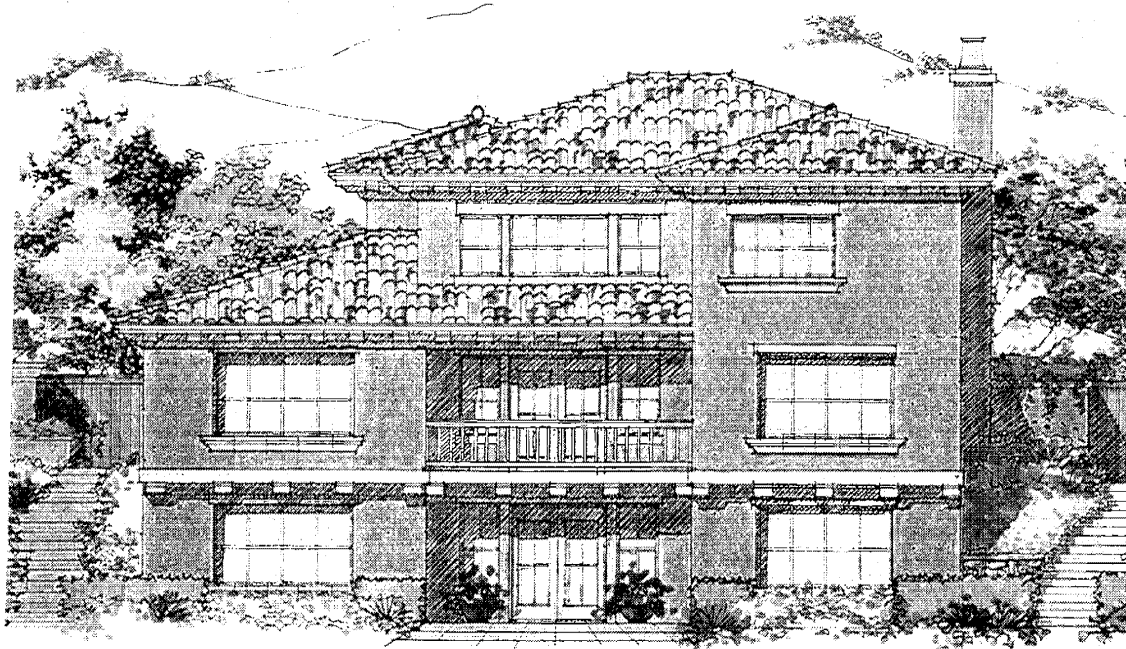


Rear

Figure 4 Plan One - Umbrian Maniero

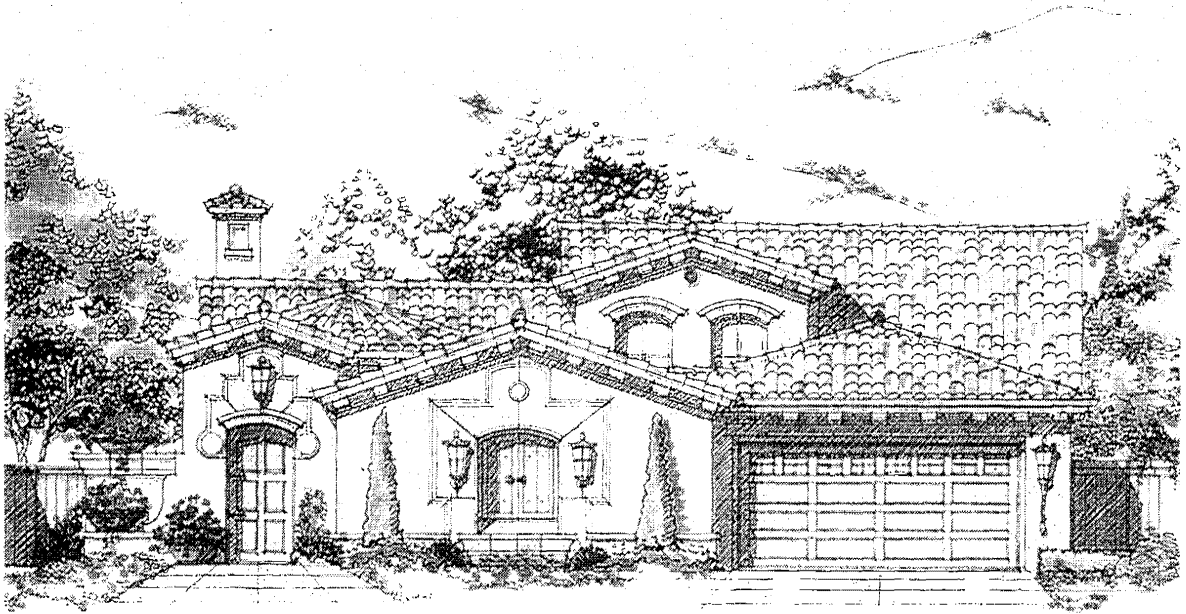


Front



Rear

Figure 5 Plan Two - Tuscany Palazzo

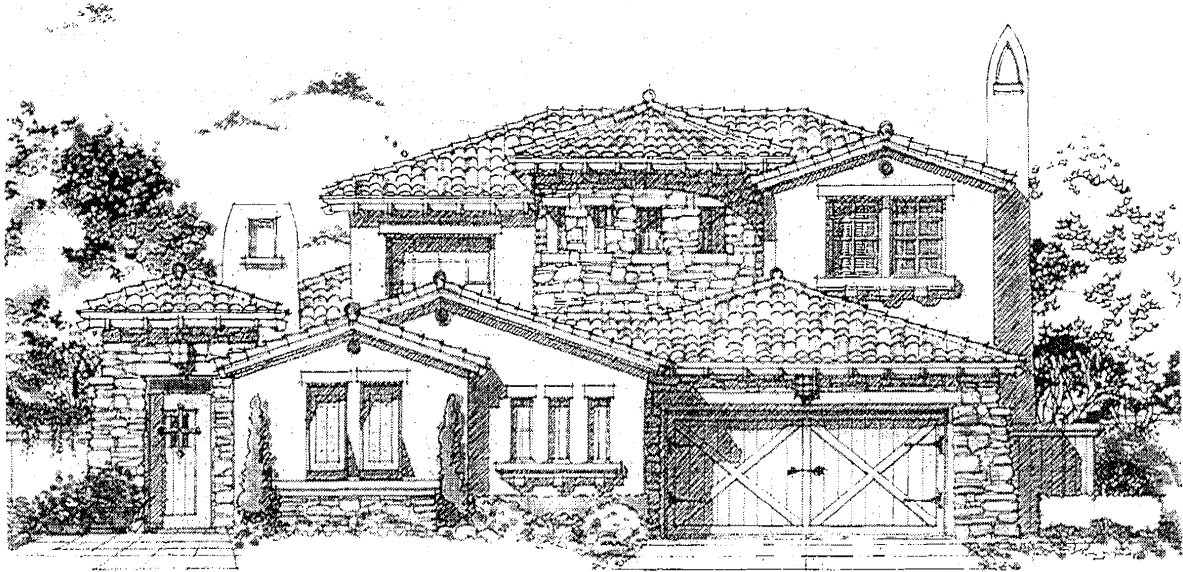


Front

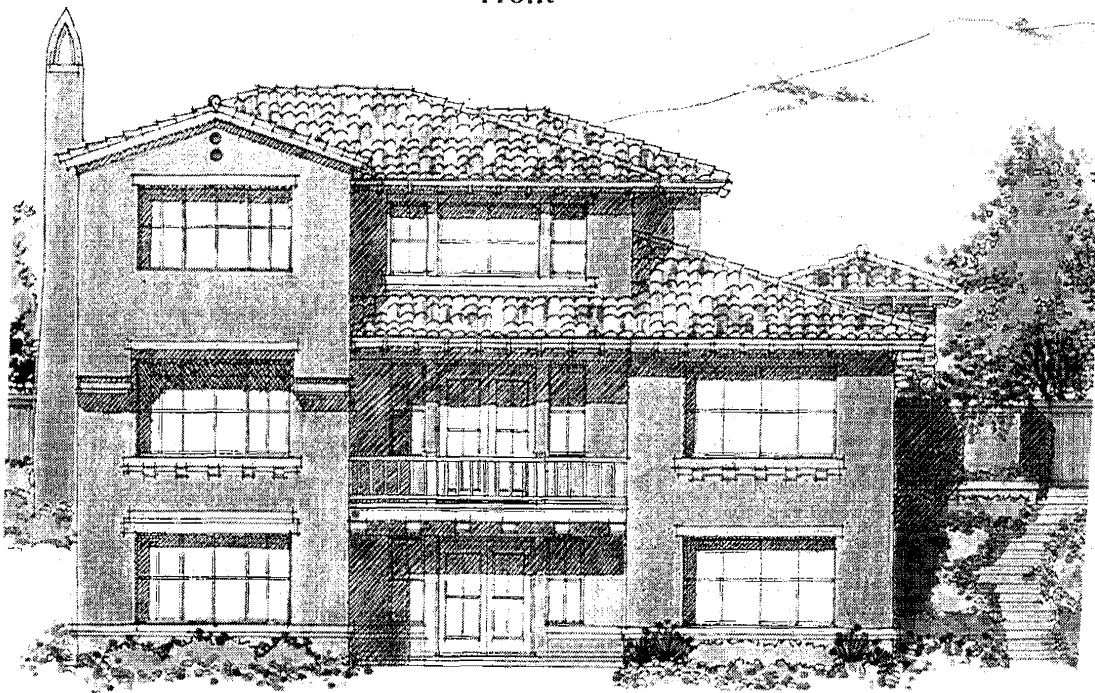


Rear

Figure 6 Plan Three - Venetian Villa

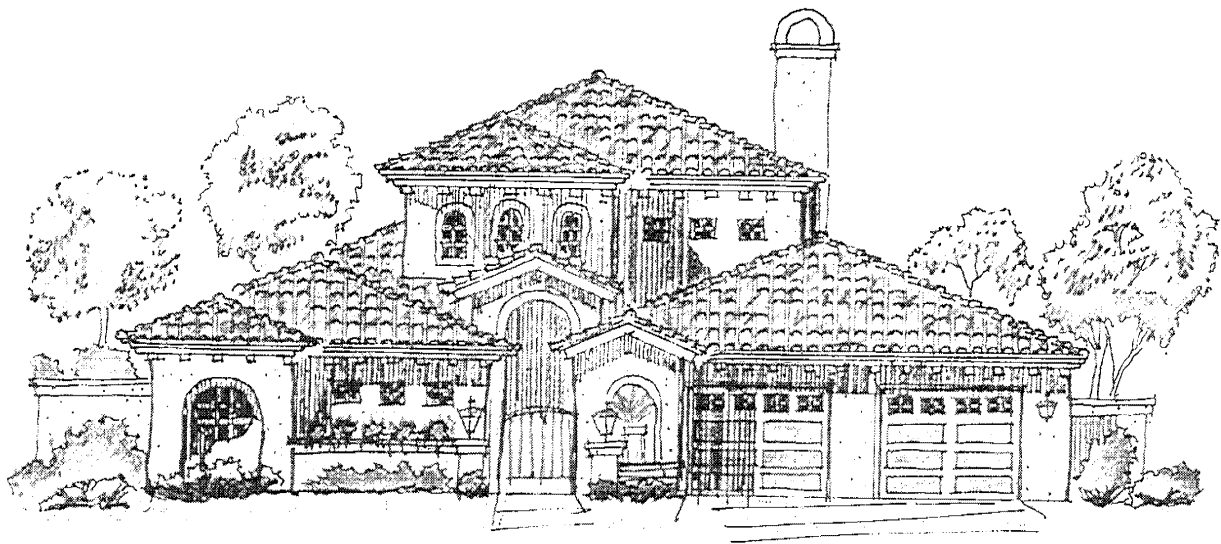


Front

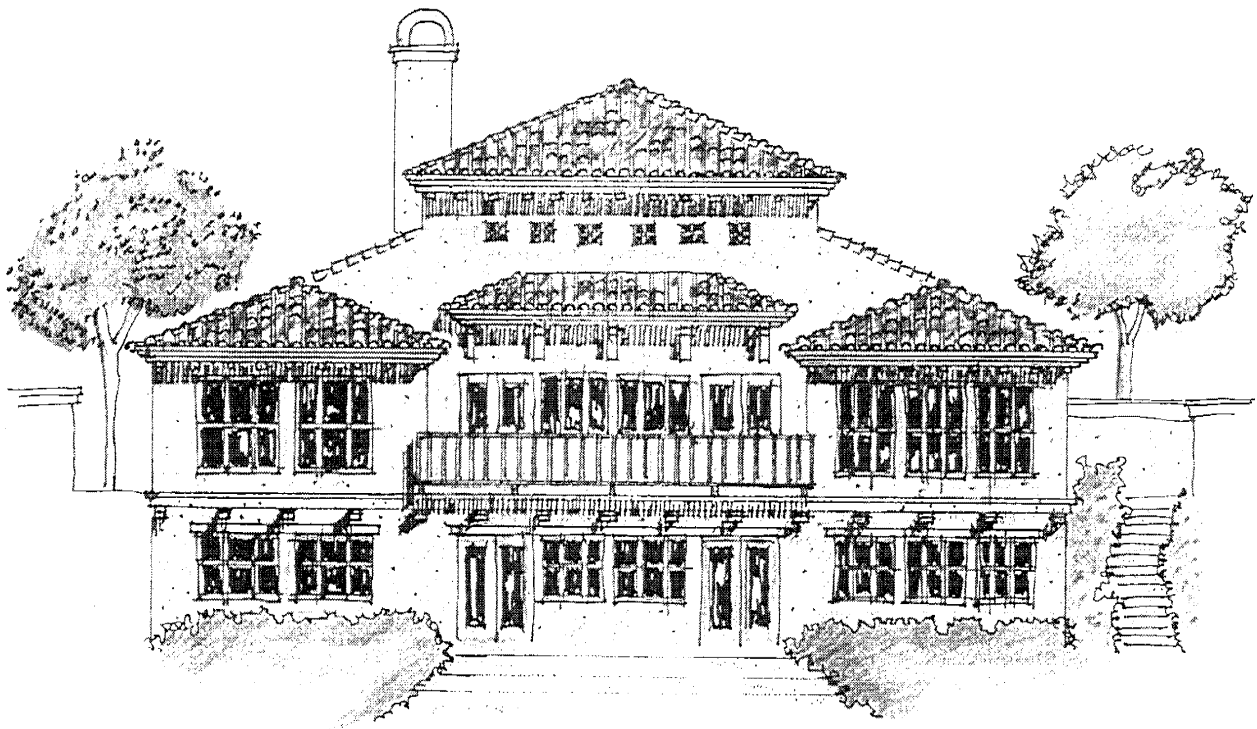


Rear

Figure 7 Plan Four - Umbrian Maniero

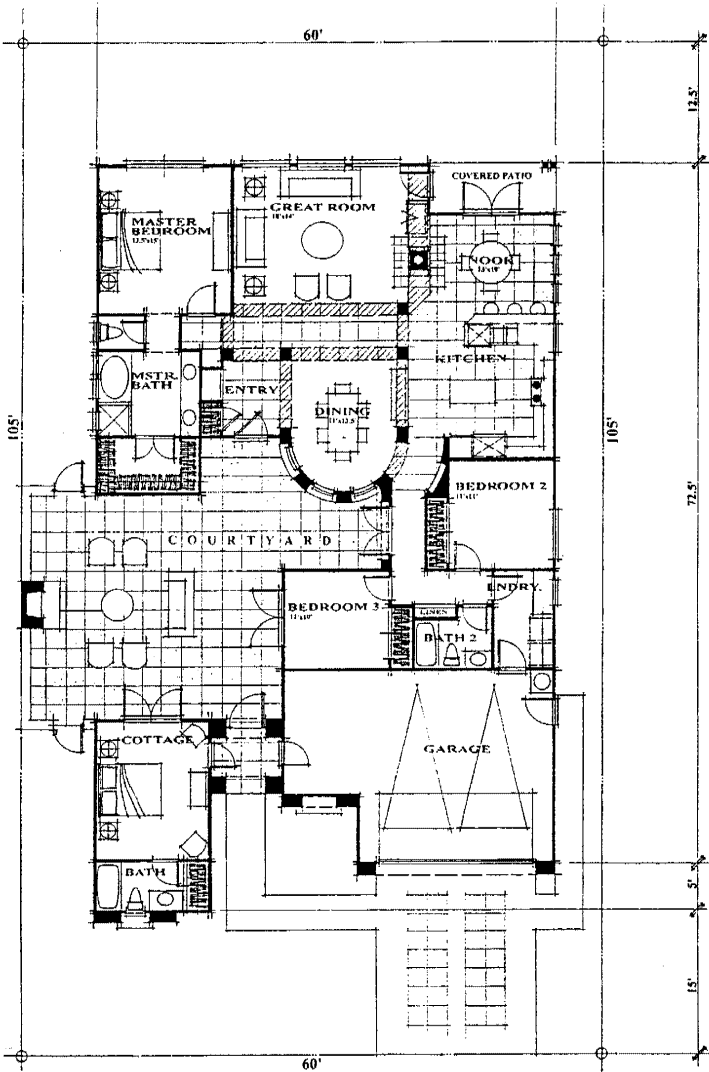


Front

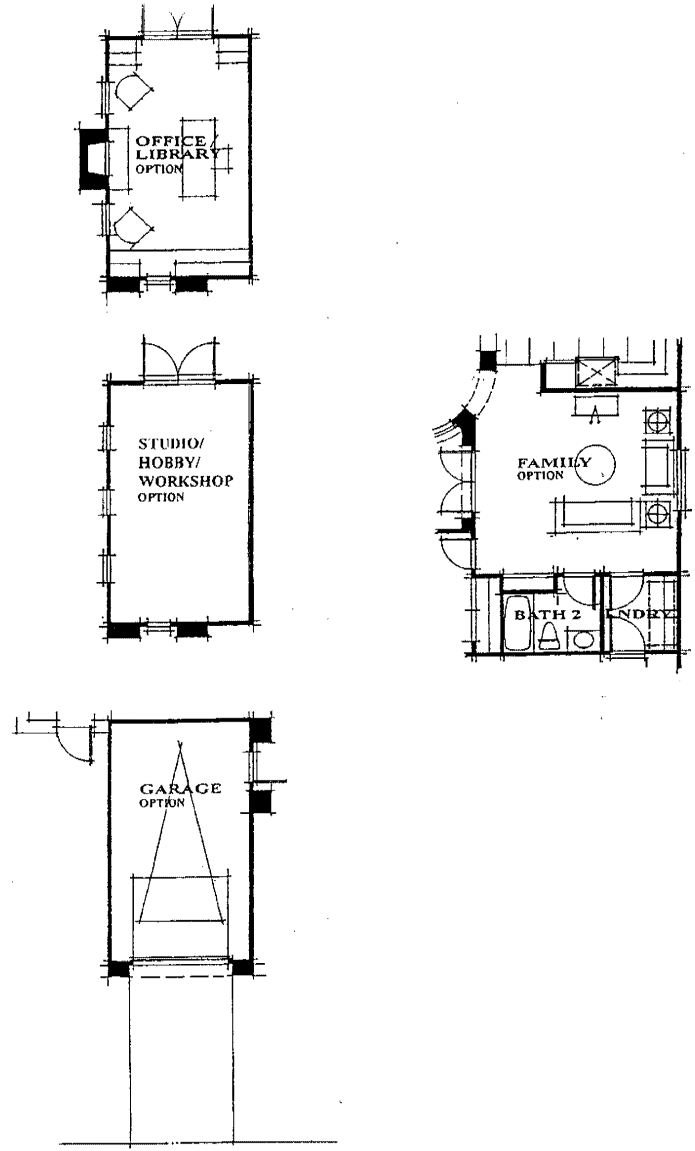


Rear

Figure 8 Floor Plan Five - Florantine Cortle

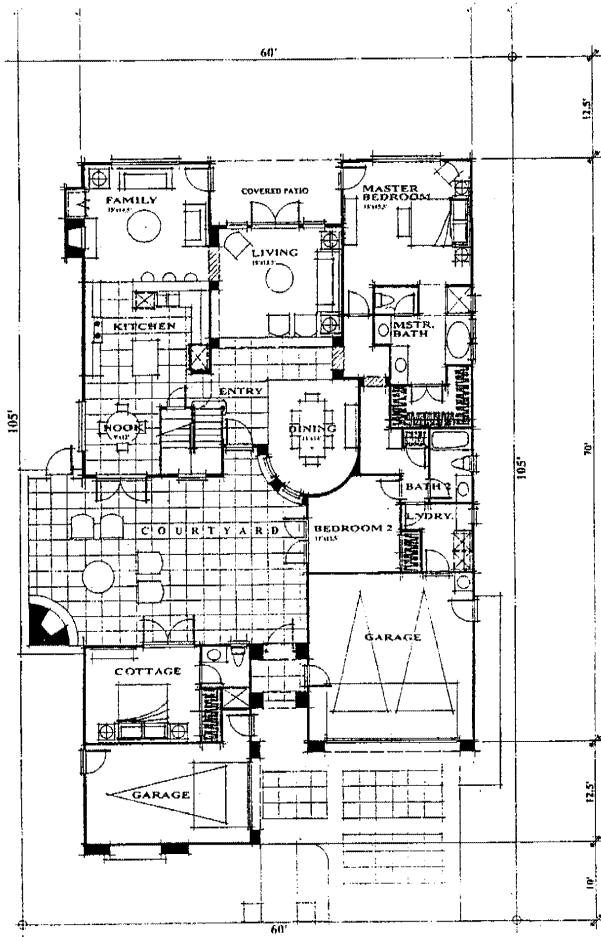


PLAN ONE single story
 1961 sq. ft. w/o cottage
 2201 sq. ft. w/ cottage



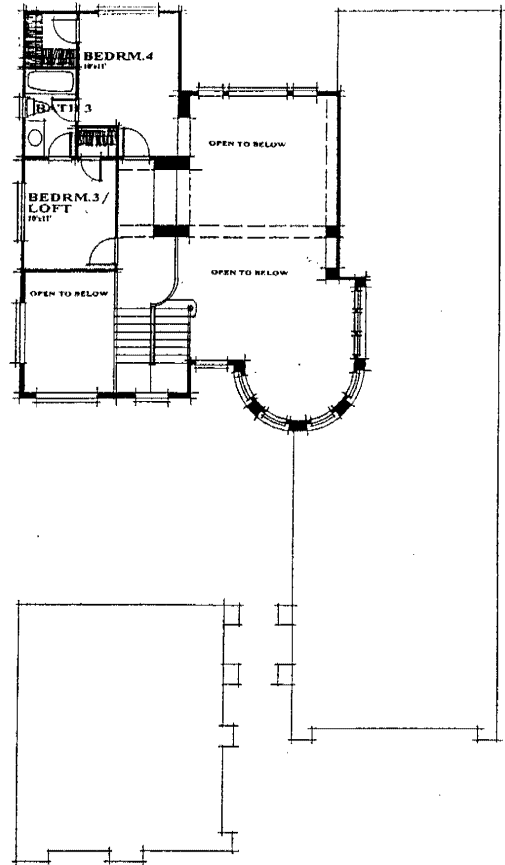
PLAN ONE options

Figure 9 Floor Plan One



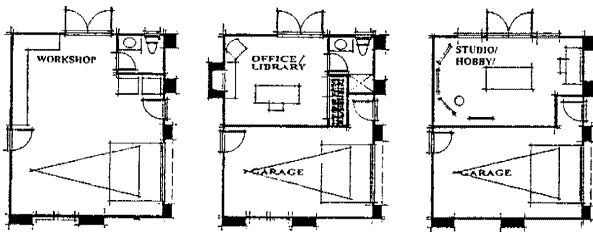
PLAN TWO two story
2348 sq. ft. w/o cottage

LOWER FLOOR



PLAN TWO

UPPER FLOOR



PLAN TWO options

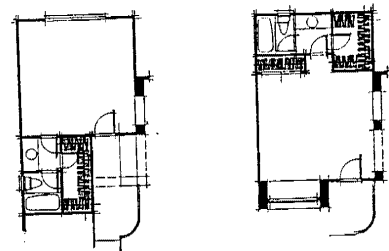


Figure 10 Floor Plan Two

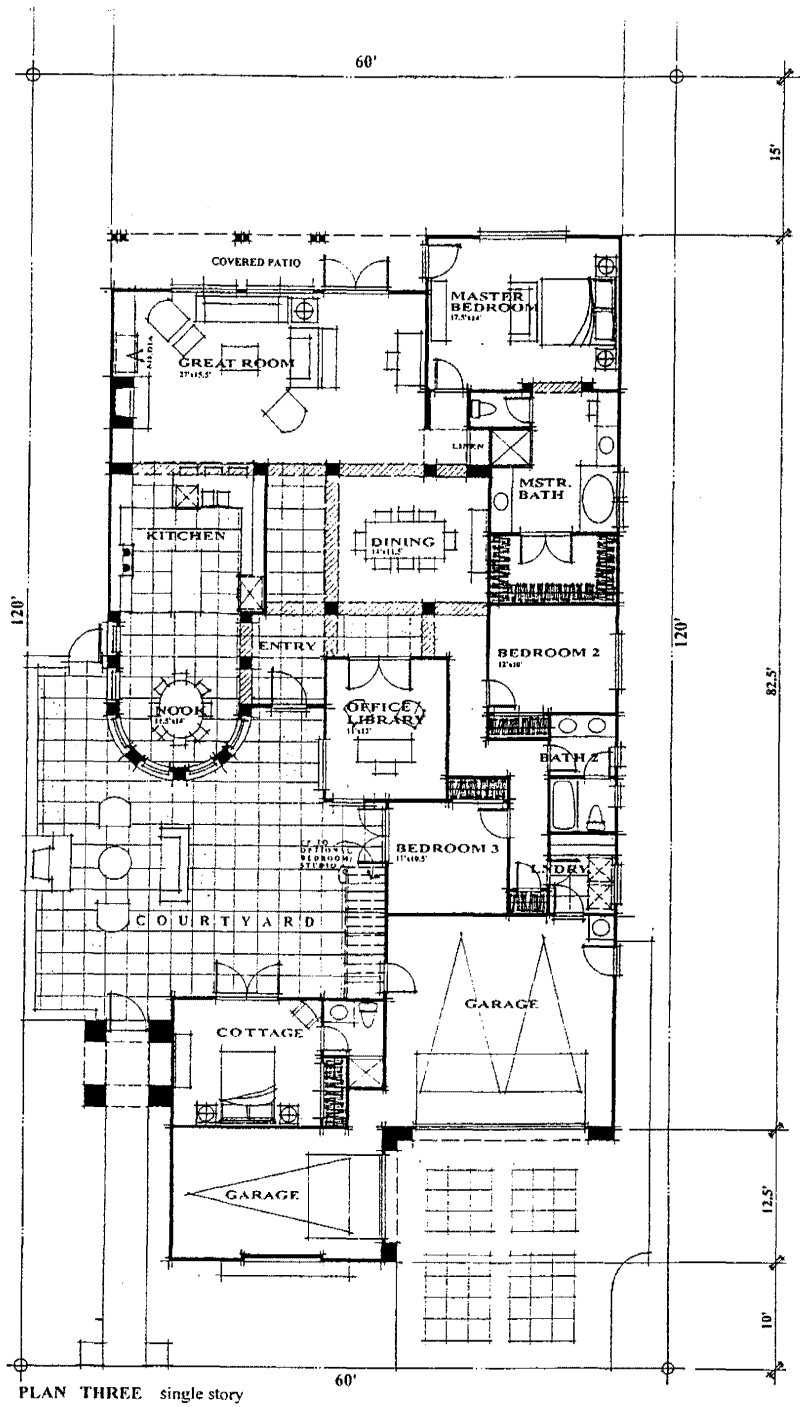


Figure 11 Floor Plan Three

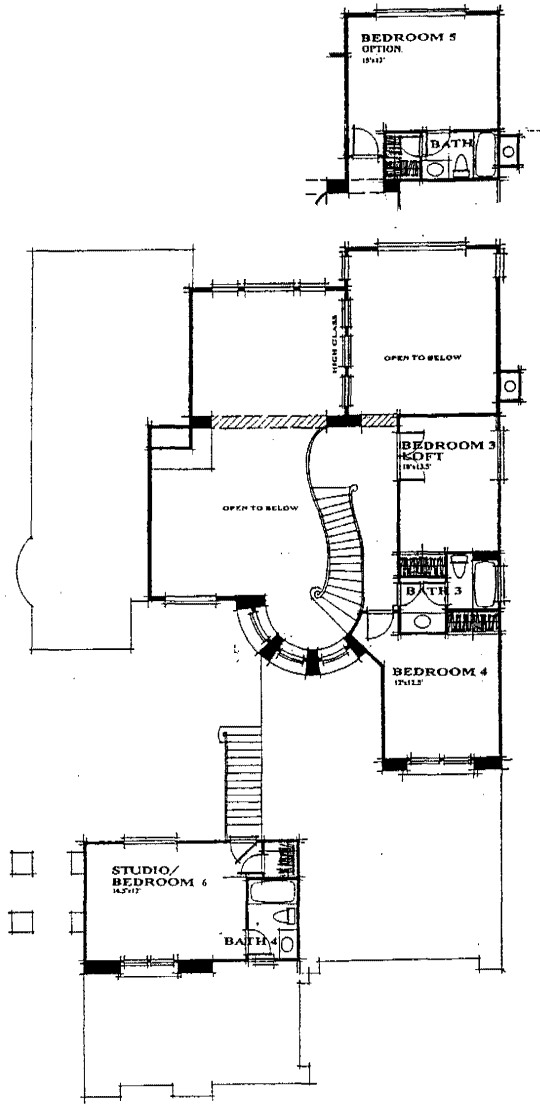
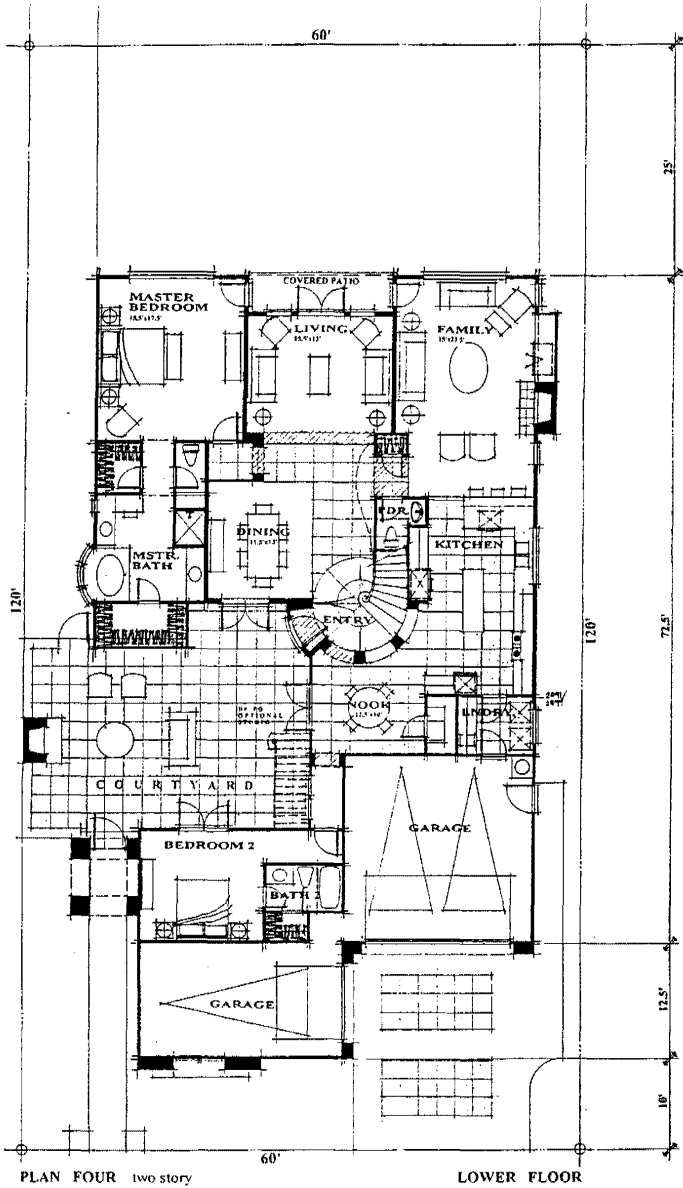
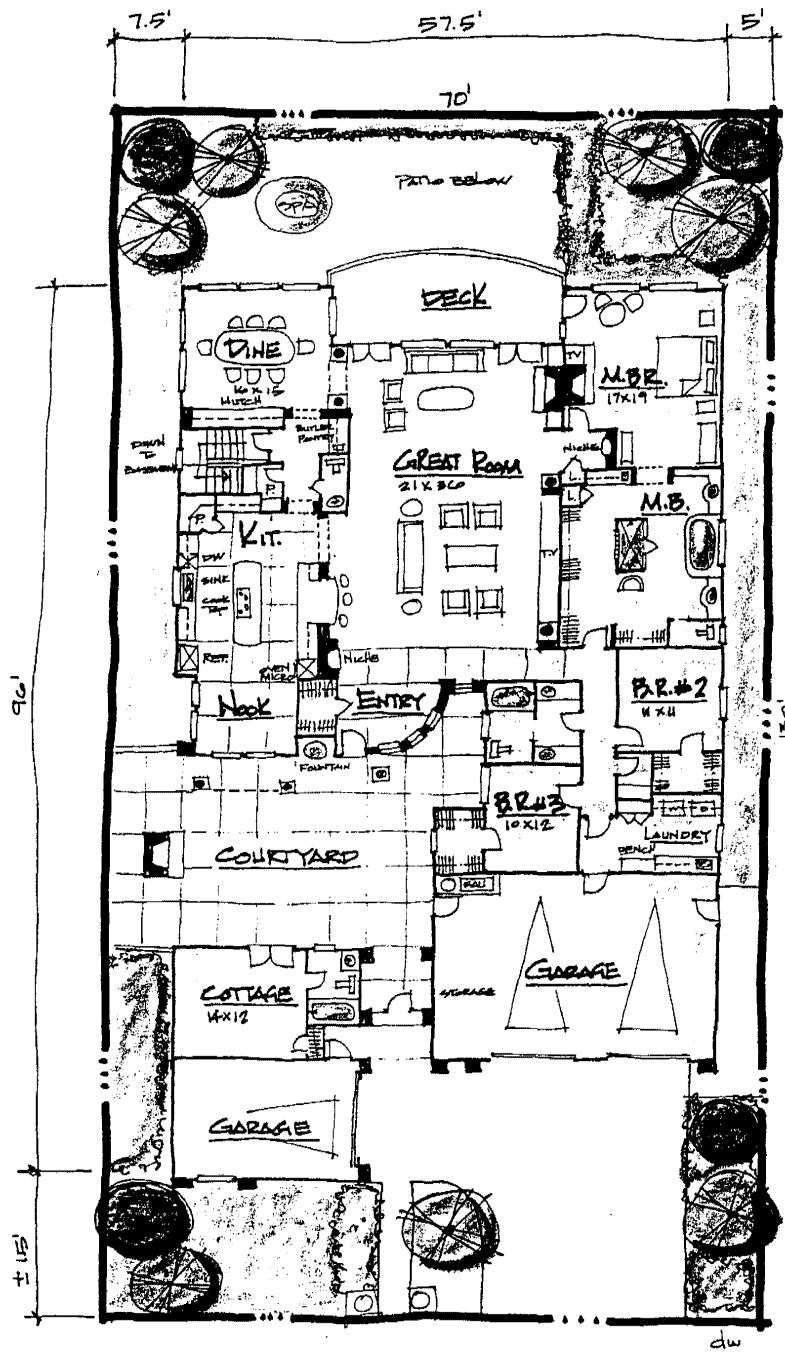


Figure 12 Floor Plan Four



BELSERA
PLAN FIVE
 3100 SQ. FT. PLUS

RESIDENCE	3100 S.F.
COTTAGE	240
	<u>3340</u>
EXTERIOR	+ 1260
	<u>4600 S.F.</u>

Figure 13 Floor Plan Five

Landscape Architecture

Landscape Concept

The primary goal of the landscape design is to provide an overall visually pleasant environment, while enhancing the Northern Italian architectural theme. The overall project is terraced to provide building pads and open space zones similar to hillside developments in Northern Italy. All disturbed slopes will be planted with either rows of grapes or similar vine plants as well as trees positioned to replicate orchard plantings and/or informal groupings. Italian themes such as columnar evergreen trees will be planted at focal points in either informal groupings or in formal rows. A formal row of 2 inch caliper trees will be planted along each street for summer cooling and to add vertical scale. Refer to Figure 14 Illustrative Site Plan on page 19.

Rockery Walls/Landscape Treatment

Belsera is situated on a northeast facing slope which provides for the opportunity to develop the site with terracing using rockery walls. These rockery walls will not only serve to pick up the grades across the site but will also set the landscape design theme for the property. At least three (3) rockery wall landscaping methods will be used depending on the wall location within the site. Refer to Figures 15, 16, and 17 Rockery Wall Concepts on pages 20 thru 22. These methods are intended to be used throughout the site and will be used in combination to provide visual interest, variety of planting concepts, and to allow the developer flexibility in slope stabilization.

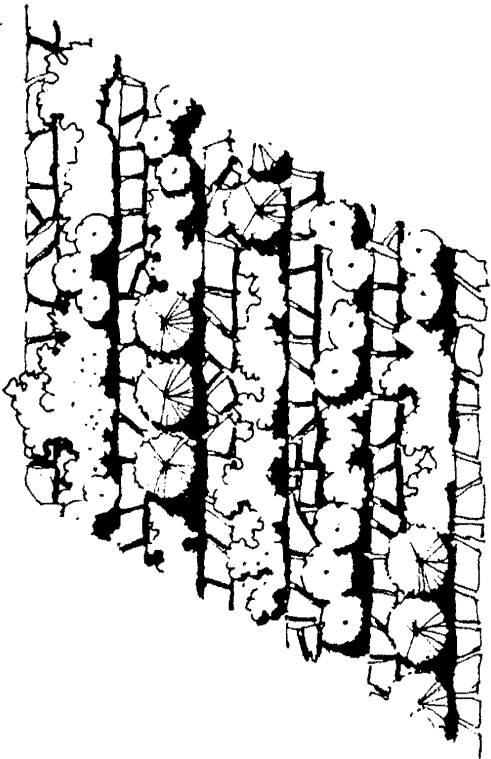
Rockery Wall Option A - This wall concept has the equal height and distance apart. This provides a planter area of approximately 2 feet. The landscaping will consist of columnar evergreen trees and a mix of deciduous and evergreen shrubs that softened the wall with either upright growth or cascading branches that "drape" across the tops of the walls. When possible, the columnar trees such as Pines, Junipers, Arborvitaes, and Cypress species will be planted where planter area exceeds 2 feet in width to be defined in the final improvement plans submitted with the final map. Their height shall be code minimum except at the entry. Typically the plants will be grouped in threes, and spaced approximately 3 to 4 feet apart and place diagonally up the terraces. The cascading plant palette will be a mix of Junipers, Cotoneaster, Vines, and Perennials. This type of rockery wall will be generally located along the western side of Tuscana Court and Steamboat Ditch. Refer to Figure 15 on page 20 and Landscape Standards on page 23.

Rockery Wall Option B - Option B is different from Option A in that it varies the wall heights providing larger planting areas. This allows larger plants to be planted in the larger terraces. Deciduous accent trees or orchard trees will be located in the larger plant pockets throughout the walls to provide focal points and vertical scale. For the narrower sections, the plantings will be similar to Option A. This rockery wall method will be mixed with Option A along the west side of Tuscana Court and between Belsera Drive and Tuscana Court. Refer to Figure 16 on page 21 and Landscape Standards on page 23.

Rockery Wall Option C - In Rockery Wall Option C, the walls will be separated with 2 to 1 slopes. Slope stabilization will be achieved in two ways:

- The slopes will be covered with the City's approved Erosion Control Matt.
- The slopes will be revegetated with a non-irrigated blend of grasses and wildflowers along with vine plantings. The vines will be supported with wooden stakes to replicate the Italian

vineyards. They will be planted in diagonal patterns up the slope and will receive drip irrigation. Refer to Figures 17 on pages 22 and Landscape Standards on page 23. This rockery wall design will be used throughout the project integrated with the other rockery walls to provide variety to the terracing.



PLAN VIEW A

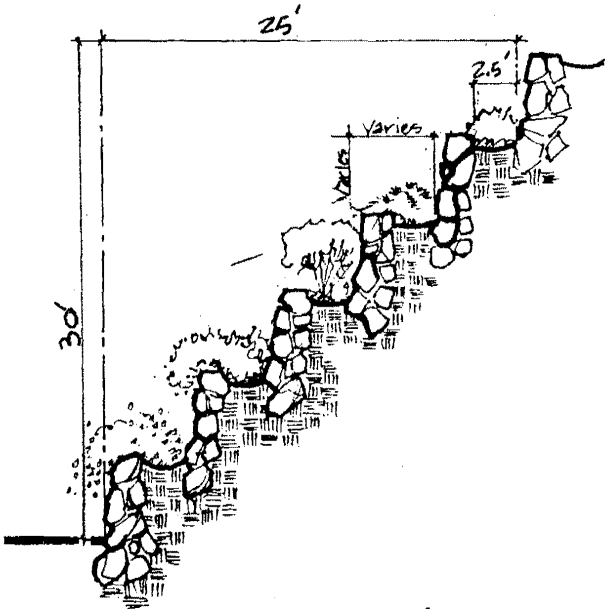


Figure 15 Rockery Wall Option A

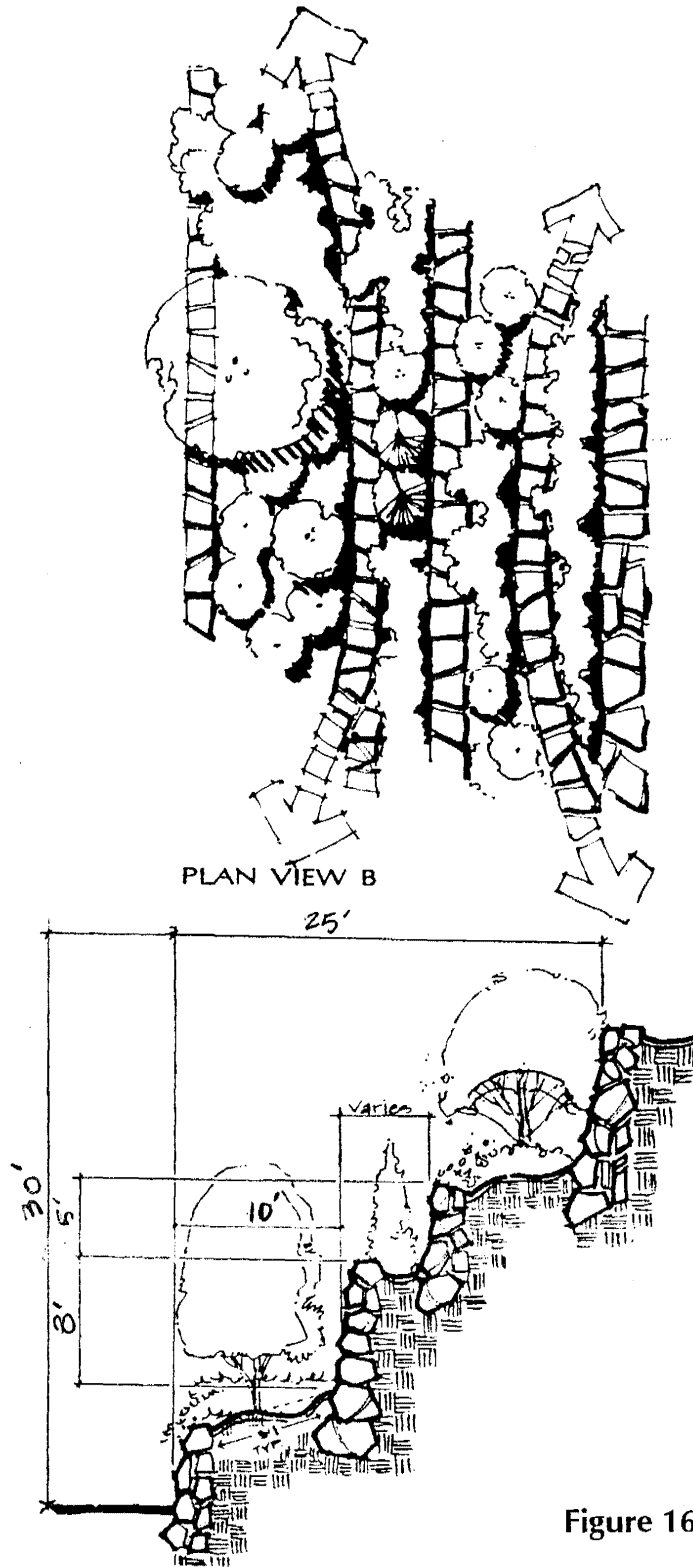
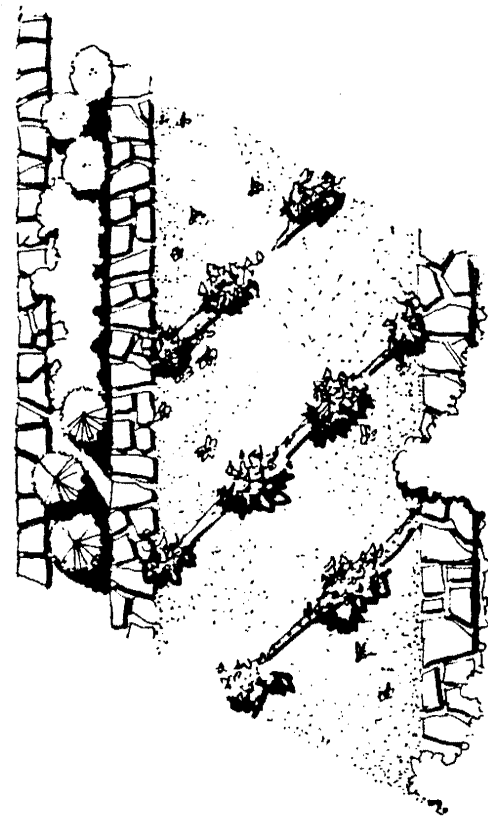


Figure 16 Rockery Wall Option B



PLAN VIEW C

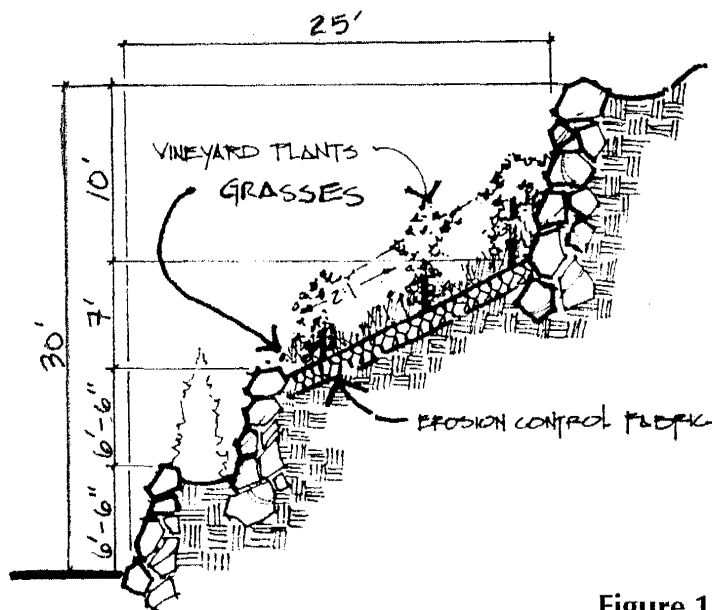


Figure 17 Rockery Wall Option C

Landscape Standards

Slope/Common Areas

- All rockery walls benches and landscape slopes shall provide 75% vegetation coverage within 3 years of planting. Disturbed slope and revegetation areas as shown on the tentative map shall provide 50% vegetation coverage within 3 years of planting. This standard shall be verified by a licensed landscape architect as part of the improvement plans for the final map.
- Trees shall be provided within the rockery walls and landscaped/disturbed slope area as shown in Table 1 Tree Summary. Refer to Figure 18 on page 24.

Table 1 Tree Summary

A.	Entry Area	50 trees
B.	West Slope Area	93 trees
C.	Detention Pond Area	40 trees
D.	South Central Slope Area	100 trees
E.	Steamboat Ditch Area	24 trees (2 trees per lots 28-34, 38-41, 48) 45 trees (5 evergreen trees per lot on lots 35-37 and 42-47)

- A minimum of 50% of all the required trees shall be evergreen with at least 25% of the required evergreen trees a minimum of 8 feet tall.
- Trees required within the common easement area may be grouped to accommodate view corridors, while providing appropriate screening from the houses to the east.
- Taller growing (8 feet - 10 feet at maturity) shrubs located within the common easement area of lots 28-48 shall be provided for screening unless demonstrated at the time of final map approval that existing vegetation/shrubs provide adequate screening from lots to the east.
- Required deciduous trees shall be 25% one inch, 50% two inch and 25% 3 inch clipper at time of planting.
- Excepting the Project Entry (Refer to page 29) all areas designated for formal trees and shrub planting as shown in Figure 18 on page 24, shall provide 75% vegetative coverage within 3 years of planting, with verification provided by a licensed landscape architect. All shrubs and trees shall be irrigated.

Lots

- All yard landscaping will be installed by the builder. The typical plans will be provided with application for final map. Final landscape and irrigation plans will be provided with each building permit and installed prior to issuance of certificate of occupancy.
- With the exception of lots 35-37 and 42-47, a minimum of two trees shall be planted per lot within the common easement area located west of the ditch for lots 28-48. The trees shall be a minimum 50% evergreen of which 70% shall be 6 feet tall and 30% shall be 8 feet tall. Required deciduous trees shall be code size. All trees on the excepting lots (lots 35-37 and 42-47) shall be evergreen, require a minimum of 5 trees per lot with a minimum height of 9 feet at time of planting. The evergreen trees on the excepting lots shall be planted east of the common easement line along the ditch.

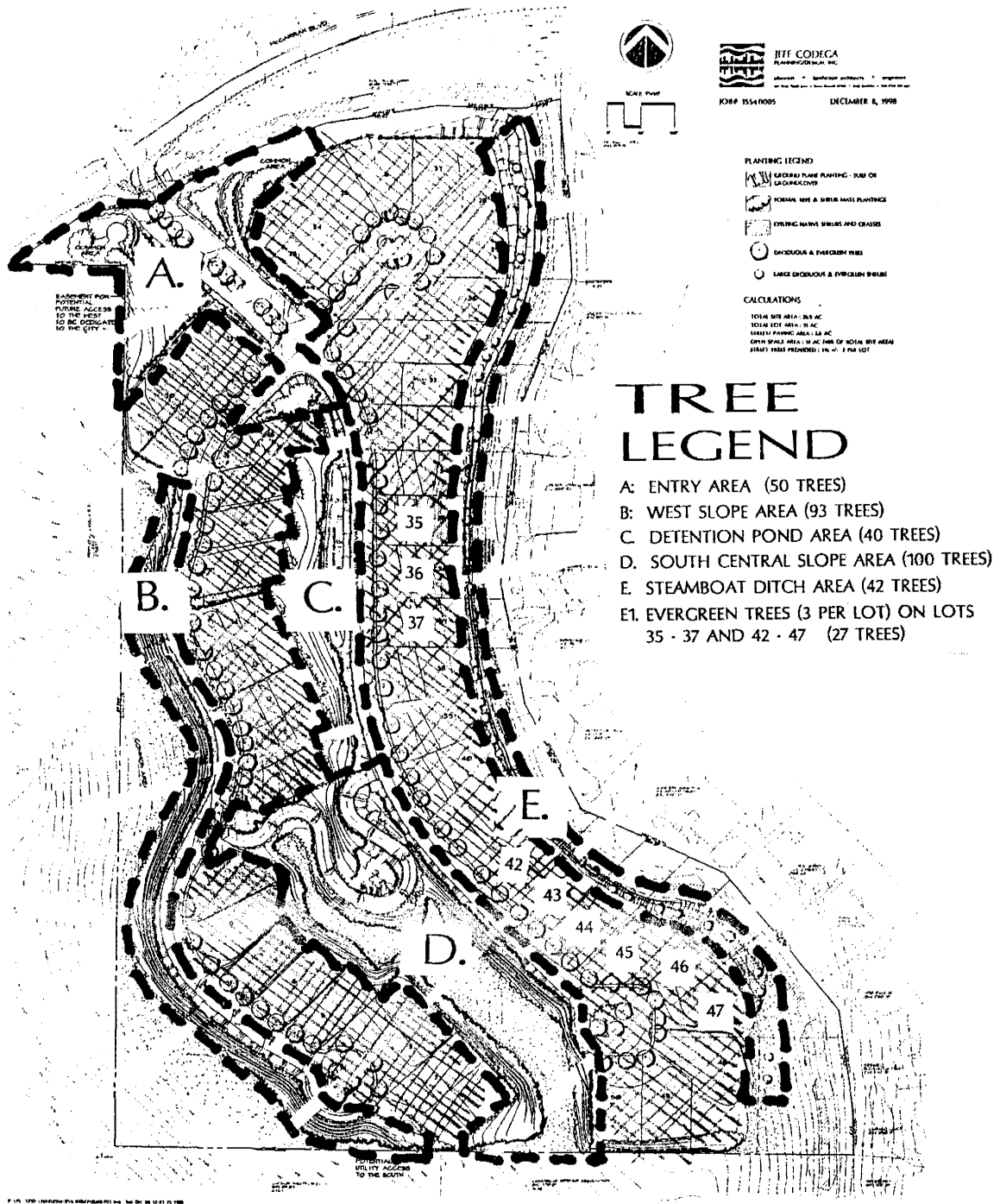
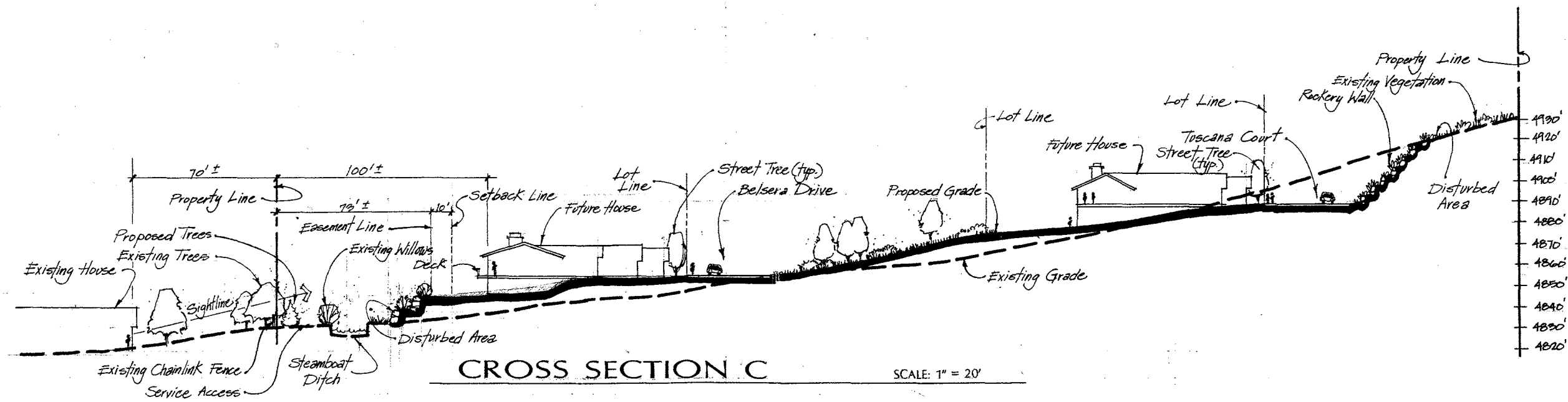
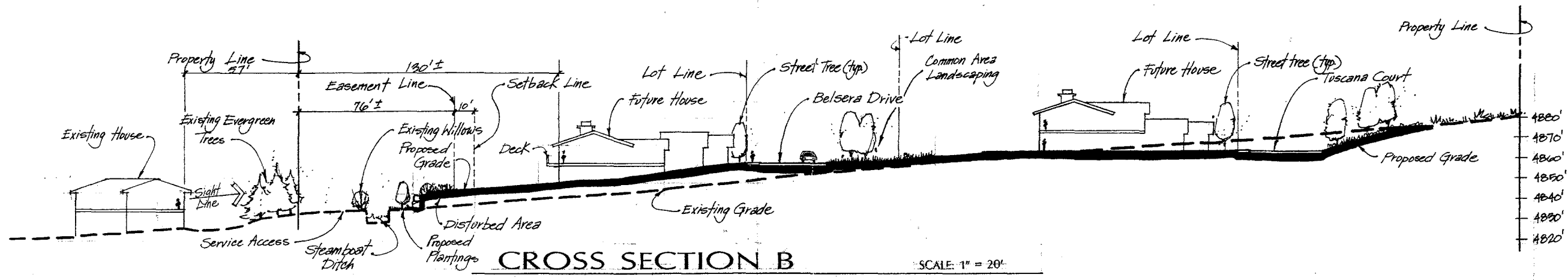
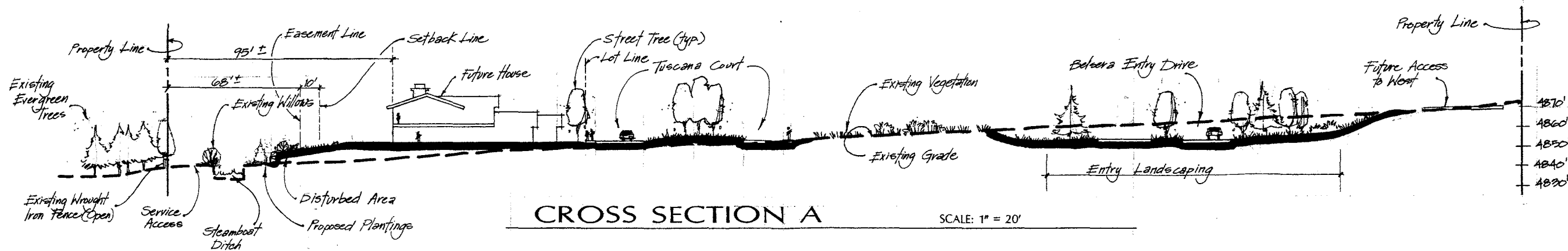



Figure 18 Tree Location

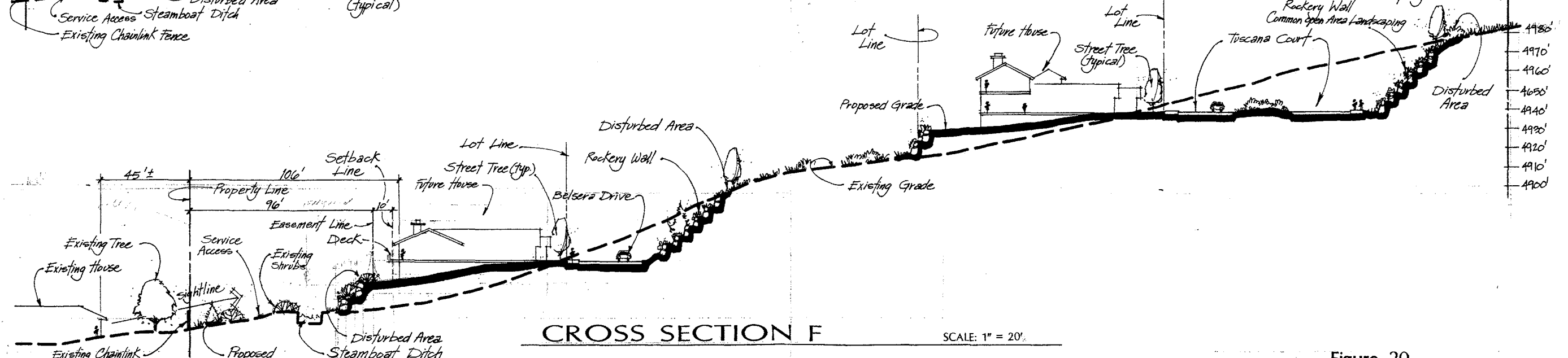
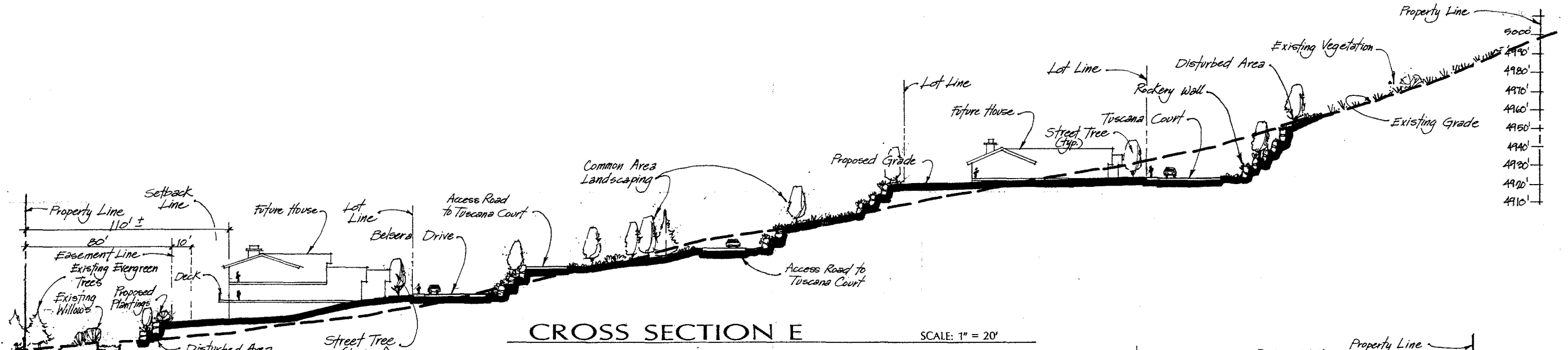
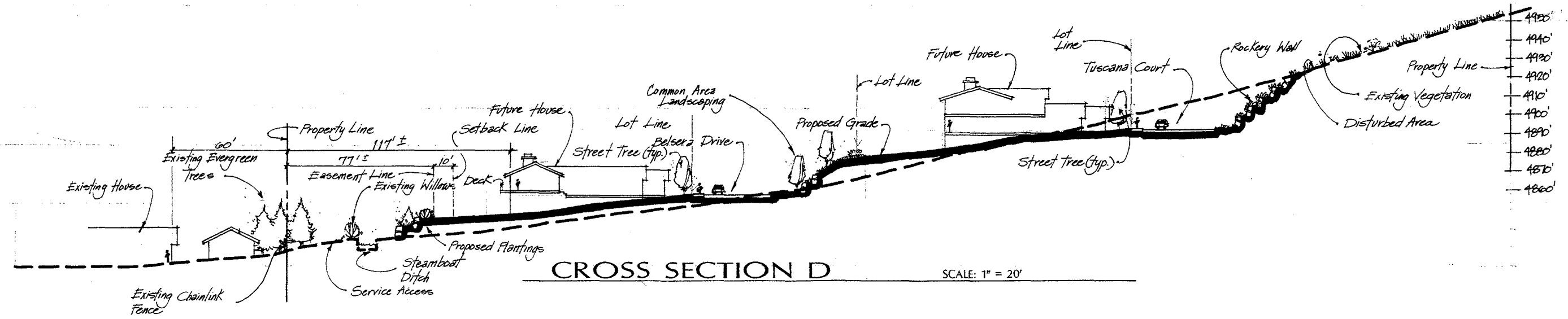
Disturbed Grading Areas

All areas disturbed by grading located in the common easement area that will not be formally landscaped or developed with rockery walls as shown on Tentative Map, will be reseeded with a mixture of grasses, forbes, and shrubs consistent with existing on site vegetations to provide a transition to native plant species on undisturbed portions of the site. The plantings are intended to blend with the existing hillside plants. Species to include, but not limited to, Sagebrush, Rabbit Brush, Mormon Tea, etc. These plantings shall provide a minimum of 50% coverage within 3 years of planting. Temporary irrigation, as necessary, shall be provided to achieve this coverage. Coverage verification shall be provided by a licensed landscape architect with the grading and/or final map improvement plans. Refer to Figures 19, 20, and 21 Cross Sections on pages 26 thru 28.



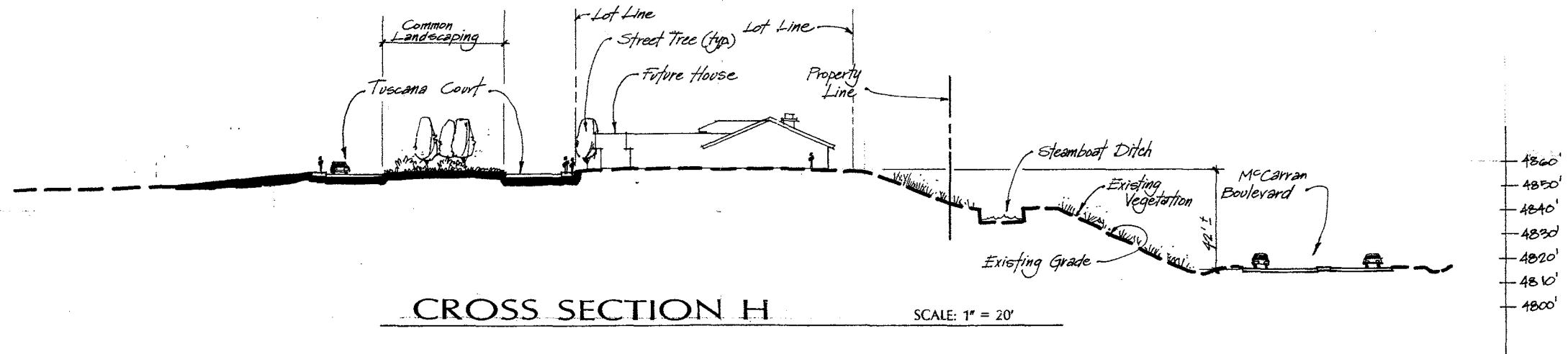
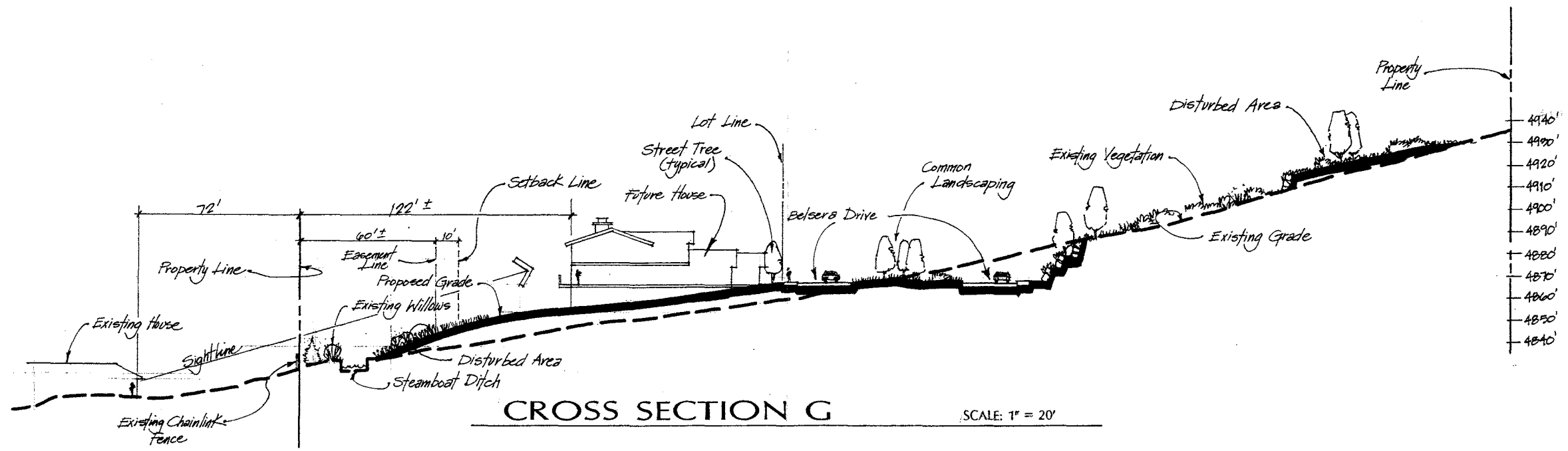
BELSERA
PRELIMINARY CROSS SECTION PLAN

Figure 19

JEFF CODEGA
 PLANNING/DESIGN, INC.
 planners • landscape architects • engineers
 431 West Park Lane • Bayside, Illinois 60016 • (708) 323-9700 • FAX (708) 323-9511
 JOB# 1554.0005 NOVEMBER 2, 1998



BELSERA
PRELIMINARY CROSS SECTION PLAN

Figure 20
JEFF CODEGA
PLANNING/DESIGN, INC.
planners • landscape architects • engineers
433 West Park Lane • Fort, Texas 75004 • (972) 332-9700 • FAX (972) 332-0571
JOB# 1554.0005 NOVEMBER 2, 1998



BELSERA
PRELIMINARY CROSS SECTION PLAN

Street Trees

A minimum of two - 2 inch caliper deciduous and/or 6 foot tall evergreen trees per lot except for the lots at the end of the cul-de-sacs where the 30 foot lot widths will accommodate one tree (lots 1,2,3,4,46,47, 48, and 49). The sizes will be increased to 3 inch minimum caliper for deciduous trees and 8 foot tall for evergreen within the cul-de-sac landscape islands. The trees will receive drip irrigation. The intent is to create a formal collanade of trees which is reminiscent of and Italian Boulevard. The varieties to include Ash, Linden, Maples, Pears, and Plums. The evergreen street trees species include Columnar Scotch and Austrian Pines.

Project Entry

The project entry will welcome residents and guests with attractive sign(s), plantings and lighting. The project entry is defined as the area from McCarran Boulevard to entry gates including medians and streetscapes. The landscape design will express the overall image of the Northern Italian theme as described in the Project Concept. The landscape at the entry will feature columnar tree and shrub masses that cascade over dry stacked rock walls. The walls will gently elevate the grade and terrace from McCarran Boulevard. There are a combination of design elements for the entry. These design concepts will be selected or another similar concept that is agreed upon between the developer, City Staff, and the original design intent. These include enhanced landscaping with oversized trees and shrubs, architectural elements incorporated into rock walls, signage, and possibly a water feature. Refer to Figures 22, 23, and 24 on page 30 thru 32. Belsera will be a gated community. The gate controls will be located prior to the gate entry. Perimeter fencing at the entry will connect with an access control gate equipped with an automatic card control system to restrict entry. An intercom system will allow guests to contact residents. Refer to Figure 14, Illustrative Plan on page 19. The lighting for the project entry will be distinctive and be used to aid in identification of Belsera. The monument sign and landscape nearby will be uplighted in a color that enhances visibility. Refer to Figure 28, Entry Sign Concept on page 38.

Landscape Standards

- Deciduous canopy trees will be sized with 50% having a minimum caliper of two (2) inches and 50% having a minimum caliper of three (3) inches at the time of planting measured six (6) inches above the root ball.
- Evergreen trees will consist of the following height mix at the time of planting: 40% at 6 feet height, 40% at 8 feet height, and 20% at 10 feet height (measured from finished grade to tree apex).
- A minimum of 50% of the shrubs installed will be 5 gallon size or larger.
- Depending on final orientation, entry sign may be located on either side of the driveway entry off McCarran Boulevard.
- Within three years of the date of planting, landscaping shall provide at least 75% cōverage of project entry area. This shall be verified by landscape architect with final map plans.
- Entry landscaping shall be installed by the developer prior issuance of first certificate of occupancy of homes.

- A minimum of 50 trees shall be planted within the entry area as shown in tree legend map. Refer to Figure 18 Tree Location on Page 24.

Entry Fencing Standards

- Entry fencing will be a combination of wrought iron or black metal pickets and rock veneer pilasters. This fencing is designed primarily for security. Refer to Figure 25, Entry Gate/Fence Concept on page 33.
- The entry fencing will connect from the entry gate, wrapping around the front lots to the edge of the property. Refer to Figure 14, Illustrative Site Plan on page 19.
- Fences will be a maximum of 6 feet in height.
- Entry fencing shall be installed by developer prior to issuance of first certificate of occupancy for homes.

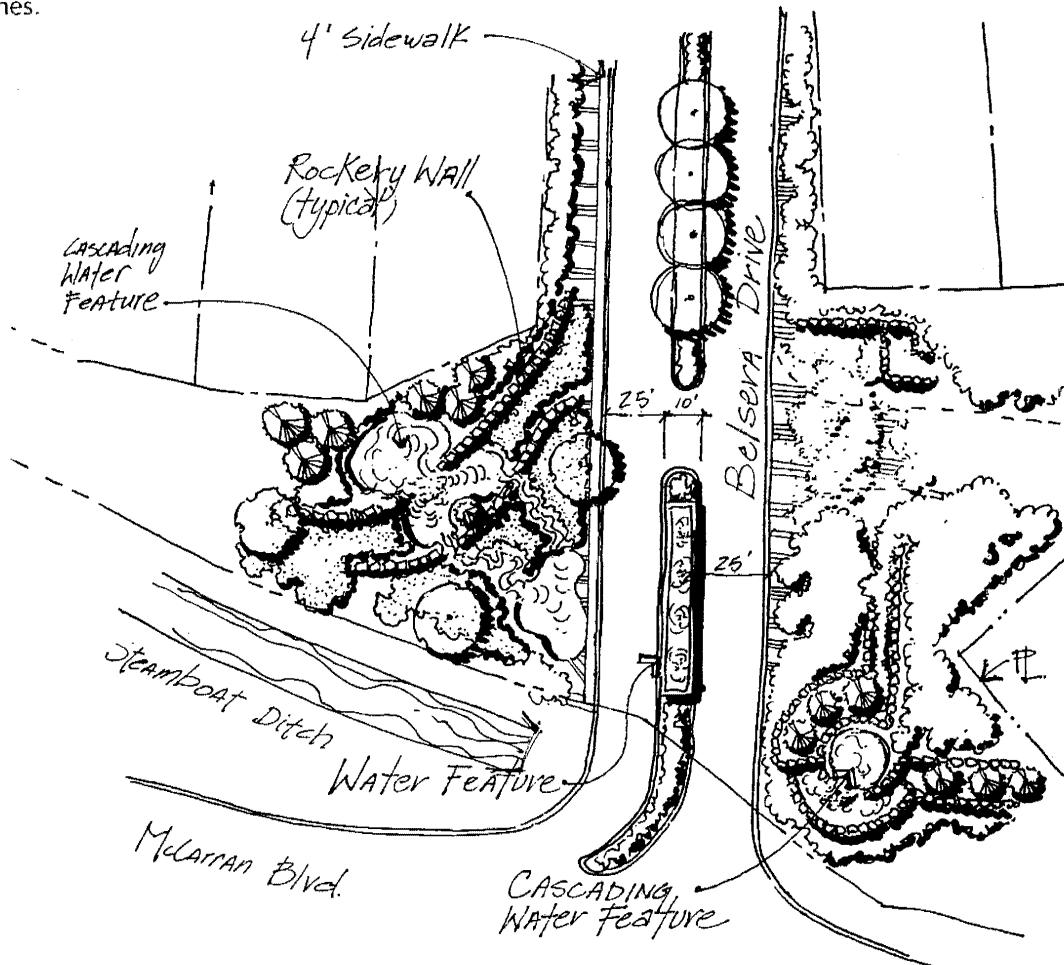


Figure 22 Entry Concept Plan Option A

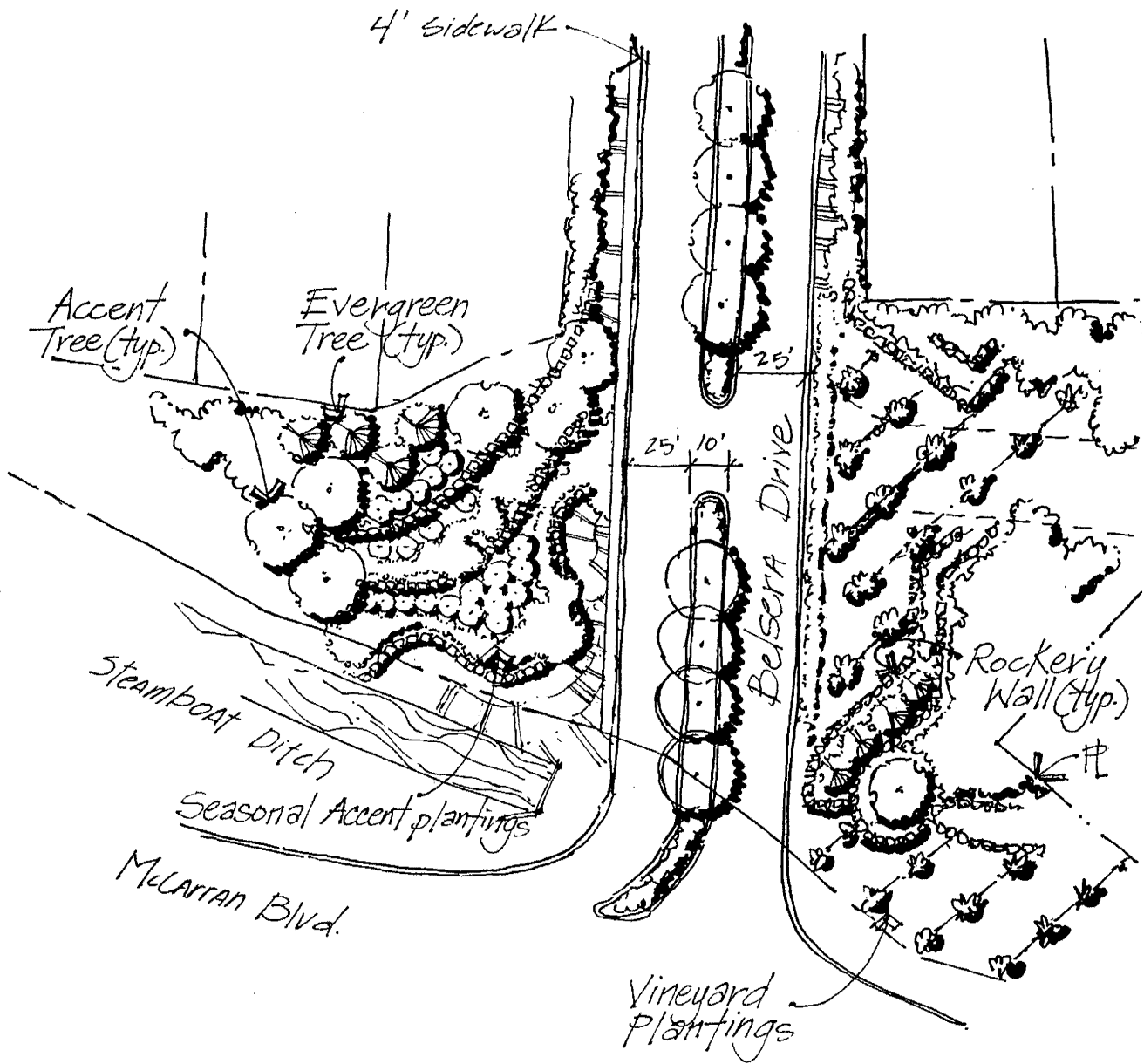


Figure 23 Entry Concept Plan Option B

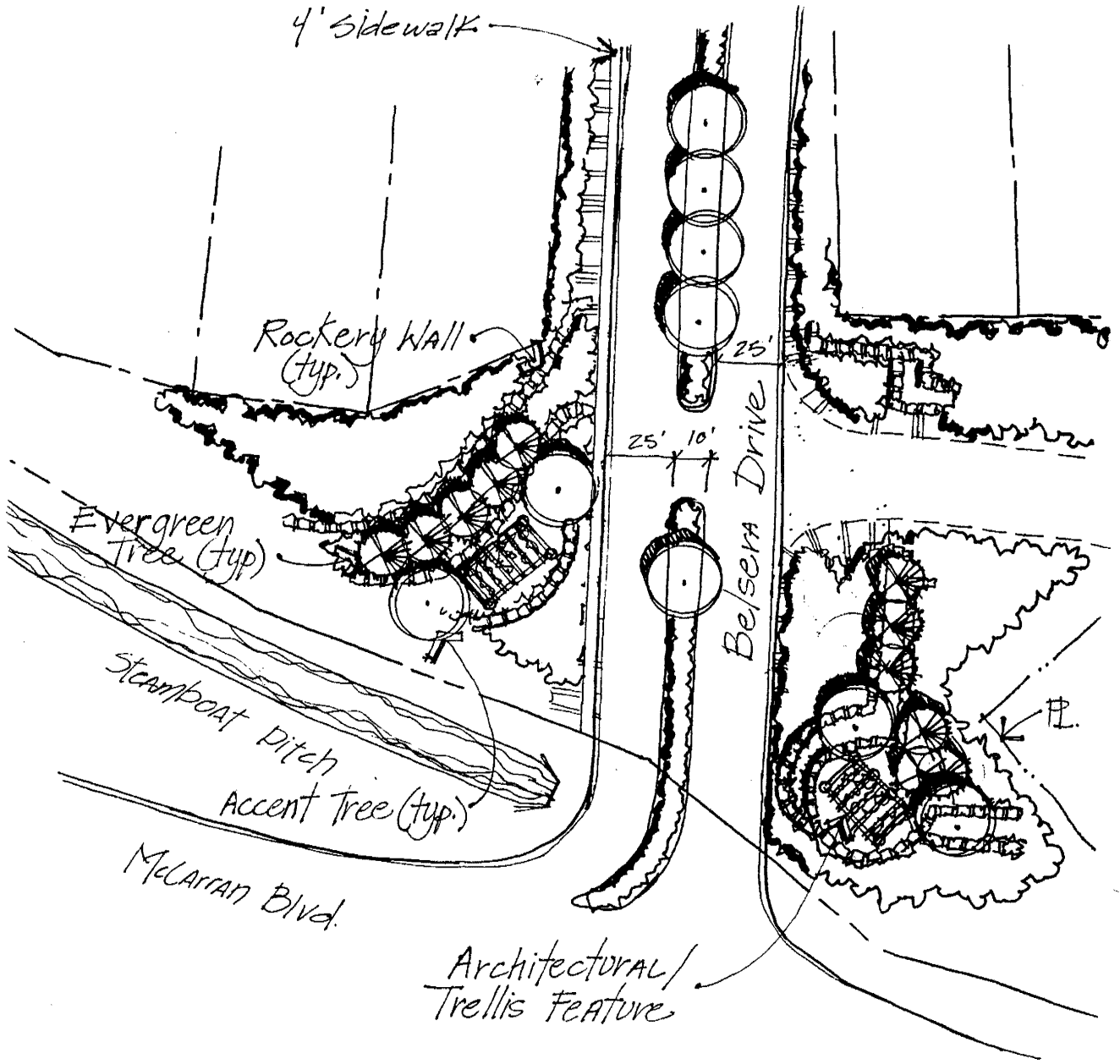


Figure 24 Entry Concept Plan Option C

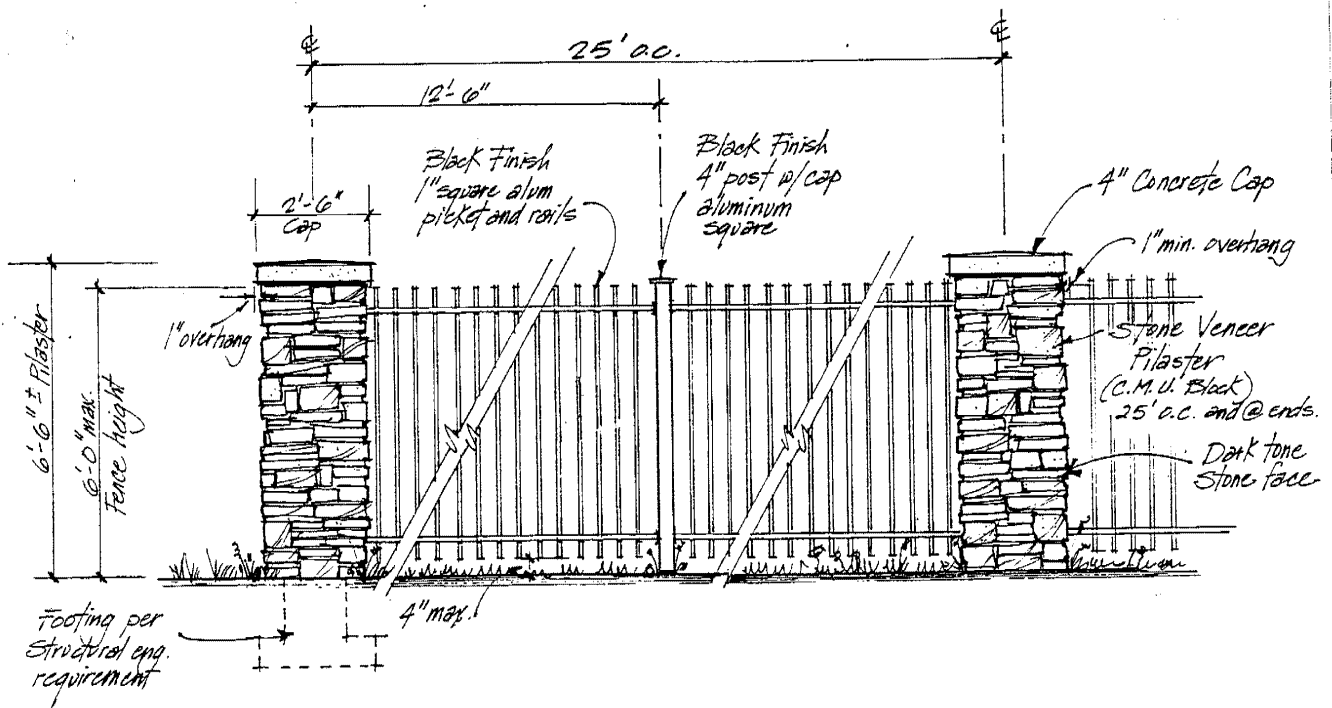
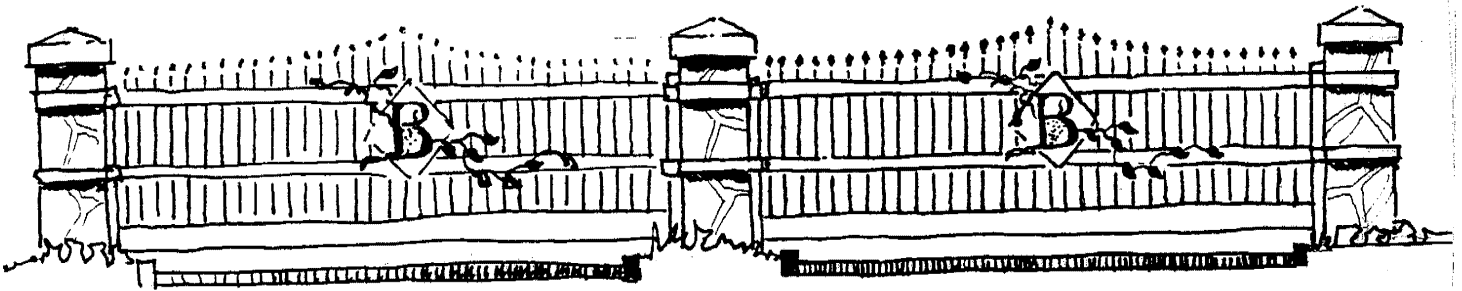


Figure 25 Entry Gate/Fence Concept

Walls and Fences

This section addresses the walls and fences on the individual lots, exclusive of the entry. Walls and fences provide visual screening, privacy, and security.

Privacy Fencing

- Fencing location will be restricted as shown in Figure 26, Fencing Locations on page 35.
- Solid 6 foot fencing will be allowed between homes but shall not extend past the building plane of each house into front or back yards. Refer to Figure 27, Private Fencing Concept on page 36.
- From the rear of all houses fencing can be a maximum height of 4.5 feet to the rear lot line. This fencing can either be open or solid.
- Rear yard area fencing installation will be determined by the homeowner and if desired will be installed by the developer. The maximum height shall be 4.5 feet.
- Side and rear yard fencing type shall be determined with the final map. Where side and rear yard fencing is installed, it shall be the same fencing type(s) as approved with the final map.
- No chain-link fencing will be allowed.
- Interior court yard stucco fencing/wall may be constructed provided they are limited to 6 feet in height constructed in conformance with architectural floor plans, Refer to Figures 9, 10, 11, 12, and 13 on pages 12 through 16. The court yard fence can be designed to be incorporated into the side yard retaining wall.
- No front yard fencing shall be allowed.

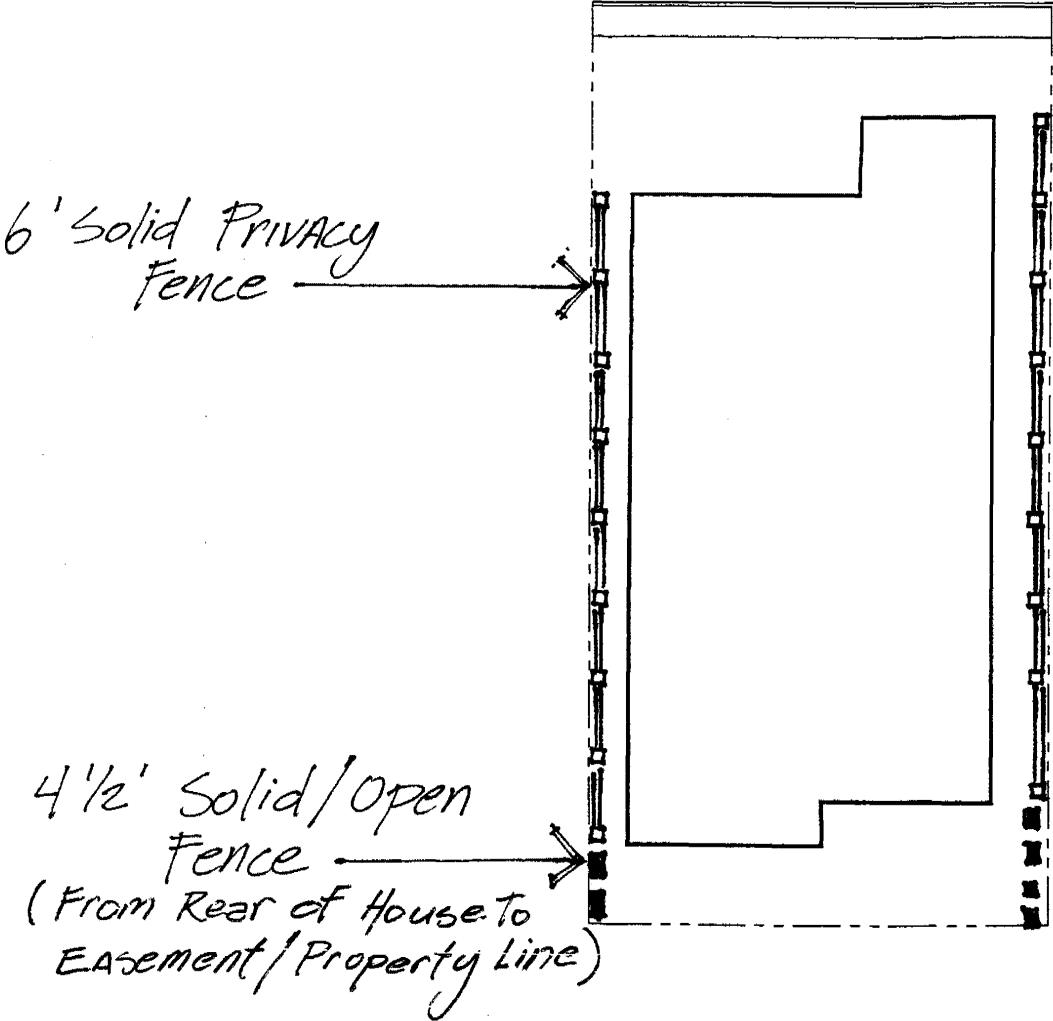
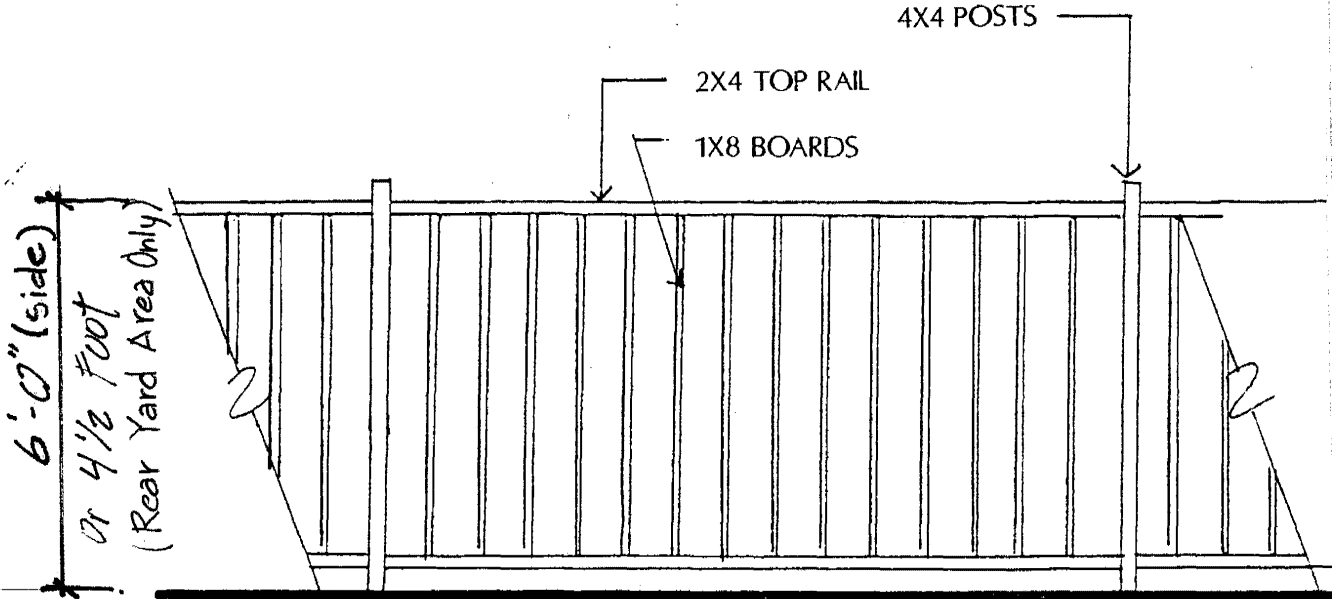
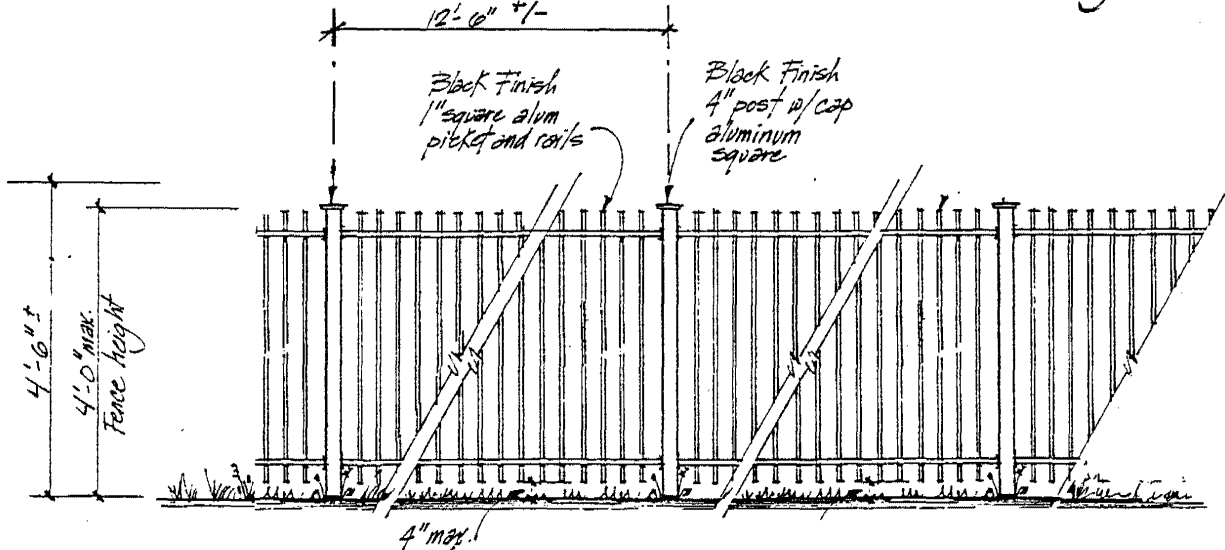


Figure 26 Fencing Location

WOOD COLOR TO BE NATURAL



Solid / Privacy Fencing - Side Or Rear Yard



Open Fencing - Rear Yard

Figure 27 Private Fencing Concept

Signage

The signage will be limited to entry sign(s), street address signs and the street signs. The sign standards presented are purposely intended not to be overly prescriptive to allow for the artistic development of signs to be concurrent with the more detailed development of the architecture.

Project Entry

- A maximum of 2, 14 foot long by 6 foot high indirectly or non-illuminated project identification entry monument sign(s) shall be permitted. The entry monument(s) may be located on either side of the project entry adjacent to McCarran Boulevard.
- The entry monument sign(s) will be either integrated into the terraces, architectural features or freestanding. The sign material will consist of either concrete, stucco, rock, wrought iron/metal or a combination of these materials consistent with the theme of the project. Refer to Figure 28, Entry Sign Concept on page 38.

Information and Directional

Street address signs will be integrated with the architecture of each home.

Mailbox Clusters

- Located in the common open space areas along Belsera Drive and Tuscana Court.
- Integrated with either the rockery walls and/or the project architecture.



Figure 28 Entry Sign Concept

Street Lighting

Belsera street lighting will be used to enhance safety and function while promoting aesthetics. The design of lights will complement the Northern Italian architectural theme. All street lights shall be consistent and compatible throughout the project. The lights will comply with City street lighting standards and Sierra Pacific Power standards. However, the developer prefers a different style other than one of the standard Sierra Pacific Power standard lighting styles. The lighting will be maintained by the Belsera Homeowner's Association. The maximum height will be 20 feet. Refer to Figure 29, Street Light Concept on this page.

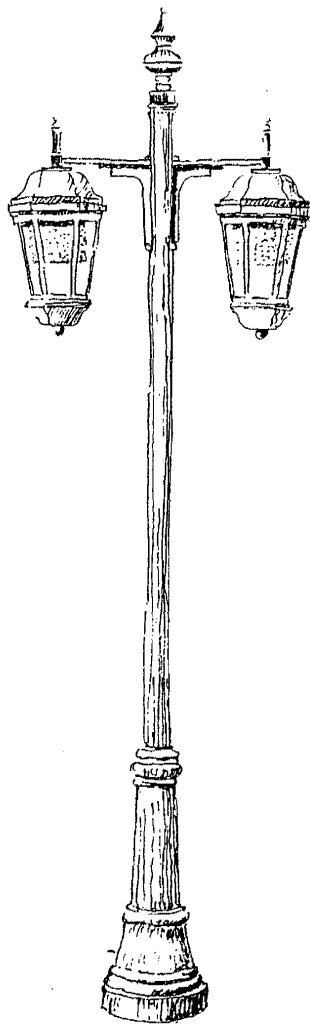


Figure 29 Street Light Concept

Common Area Maintenance

The common areas, streets, street lights, entry features, landscaping, walls, vegetative slopes, detention ponds, etc. within Belsera will be maintained by the homeowners association. Appropriate maintenance will be regularly scheduled to ensure that the upscale image of the project is protected and enhanced. Concurrent with recordation of the first final map, CC&R's instituting a homeowner's association to provide for common area maintenance will be recorded.

Minor Plan Amendment Process

Variances to the development standards handbook may be granted by the administrator, when in the opinion of the administrator, the variance does not impact the health, safety, and welfare of the general public, that site circumstances or site topography would grant undue hardship to the applicant if the variance is not granted, that the intent of the development standards handbook is still met with approval of the variance, and that granting of the variance does not violate City codes and ordinances.

Appendix - Design Standards

LANDSCAPE PLANTING PALETTES

The following lists provide opportunity for creative landscape design within the parameters of the overall project design theme.

Northern Italian Plant Palette

The Northern Italian plant palette shall be used in common open space within the residential lots and along the streets. These plants are selected to replicate the Northern Italian Landscape.

LARGE SHADE TREES

<u>Botanical/Latin Name</u>	<u>Common Name</u>	<u>Italian Name</u>
Acer rubrum	Scarlet Maple	Acero, Oppio, Loppio
Betula pendula	European White Birch	Betula
Carpinus betulus	European Hornbeam	Carpino
Eleagnus angustifolia	Russian Olive	Olivio, Ulico
Fraxinus excelsior spp.	European Ash, Weeping European Ash	Frassino
Plantanus acerifolia	London Plane Tree (Not Suitable For Street Tree Planting)	Platano
Quercus robur spp.	English or Fastigate English Oak	Farnia, Quercia, Cerqua
Tilia cordata	Little-leaf Linden	Tiglio selvatico
Gleditsia triacanthos inermis	Thornless Honeylocust	
Robinia pseudoacacia 'Purple Robe'	Purple Robe Locust	

EVERGREEN TREES

<u>Botanical/Latin Name</u>	<u>Common Name</u>	<u>Italian Name</u>
Abies concolor	White Fir	Abete
Thuja occidentalis	American Arborvitae	
Buxus microphylla 'Winter Gem'	Japanese Box	Bosso, Bossolo
Picea abies	Norway Spruce	Abete, rosso, Pezzo, Peccio
Pinus sylvestris	Scotch Pine	Pino syvestre
Cypressus sp.	Cypress species	
Juniperus scopulorum	Rocky Mountain Juniper	
Juniperus v. "Skyrocket"	Skyrocket Juniper	
Pinus edulis	Pinyon Pine	
Pinus sylvestris	Scotch Pine	

MEDIUM-SMALL DECIDUOUS TREES

<u>Botanical/Latin Name</u>	<u>Common Name</u>	<u>Italian Name</u>
Acer ginnala	Amur Maple	
Koelreuteria paniculata	Golden Rain Tree	

ORCHARD TREES & PLANTS

<u>Botanical/Latin Name</u>	<u>Common Name</u>	<u>Italian Name</u>
Chaenomeles spp.	Quince	Cotogno, Melacotogno, Cionio
Malus spp.	Apple	Melo
Prunus spp.	Flowering Almond	Mandorlo
Prunus spp.	Apricot	Aobicocco, Armeniaco, Muniaco
Prunus spp.	Plum	Pruno, Susino
Pyrus calleryana	Pear	Pero
'Bradford', or 'Redspire'		
Sorbus aucuparia	European Mountain Ash	Sorbo

EVERGREEN SHRUBS

<u>Botanical/Latin Name</u>	<u>Common Name</u>	<u>Italian Name</u>
Juniperus sp.	Juniper	Ginepro
Ilex crenata	Japanese Holly	Agritolio
Picea abies 'sherwoodii'	Miniature Norway Spruce	Abete, pezzo, peccio
Pinus mugo mugo	Dwarf Mugho Pine	
Thuja spp.	Arborvitae	
Arctostaphylos patula	Greenleaf Manzanita	
Artemisia tridentata	Big Sage	
Cercocarpus	Mountain Mahogany	
Chrysothamnus nauseosus	Rabbit Brush	
Cytissus sp.	Broom	
Ephedra viridis	Mormon Tea	
Yucca sp.	Yucca	

DECIDUOUS SHRUBS

<u>Botanical/Latin Name</u>	<u>Common Name</u>	<u>Italian Name</u>
Acer campestre	Hedge Maple	Acero
Buddleia davidii	Butterfly Bush	
Cornus sanguinea	Bloodtwig Dogwood	Sanguine, Sanguinelle
Berberis thunbergii	Japanese Barberry	Crespino, Bebero
Euonymus alatus	Winged Eunoymus	
Forsythia x intermedia	Forsythia	
Hibiscus syriacus	Rose of Sharon	
Potentilla sp.	Cinquefoil	

Ribes sp.	Alpine or Golden Currant	Uva spina
Rosa sp.	Old Rose (not teas)	
Syringa vulgaris	Common Lilac	Lilla, Siringa
Spiraea sp.	Spiraea	
Artemisia schmidtiana	Silver Mound	
Cotoneaster sp.	Cotoneaster	
Cowania mexicana	Cliffrose	
Fallugia paradoxa	Apache Plume	
Perovskia atriplicifolia	Russian Sage	
Prunus besseyi	Sand Cherry	
Purshia tridentata	Bitterbrush	

GROUNDCOVERS/VINES

<u>Botanical/Latin Name</u>	<u>Common Name</u>	<u>Italian Name</u>
Achillia tomentosa	Woolly Yarrow	
Ajuga reptans	Carpet Bugle	
Clematis sp.	Clematis (Vine)	Clematide, Vitalba
Euonymus fortunei	Winter Creeper	
Hedera helix	English Ivy (Vine)	Edra, Ellera
Juniperus sp.	Juniper	
Lonicera japonica	Honeysuckle	Caprifoglio, Madreselva
Nepeta faassenii	Catmint	
Parthenocissus quinquefolia	Virginia Creeper (Vine)	
Rosa 'Altissimo', 'Blaze', or 'Don Juan'	Climbing Rose (Vine)	Rosa
Sedum sp.	Sedum	
Vinca minor	Dwarf Periwinkle	
Vitus 'Catawba', 'Glenora', or 'Verdelet' (spp. that do best in Reno)	Grape	Vite, Uva
Wisteria sinensis or floribunda	Wisteria (Vine)	
Arctostaphylos uva ursi	Kinnikinnick	
Phlox subulata	Creeping Phlox	
Santolina chamaecyparissus	Lavender Cotton	
Santolina virens	Green Lavendar Cotton	

PERENNIALS

Any perennials that are hardy to Sunset Zone 3 are approved for use in the Developed palette.

TURF GRASS

<u>Botanical/Latin Name</u>	<u>Common Name</u>
Festuca arundinacae	Tall Fescue
Poa pratensis	Kentucky Bluegrass

GRASSES

Botanical/Latin Name

Elymus conereus

Elymus glaucous

Festuca ovina 'Glaucous'

Helictotrichon sempervirens

Miscanthus sinensis 'Gracillimus'

Oryzopsis hymenoides

Poa nevadensis

Pennisetum setaceum

Stipa gigantea

Common Name

Basin Wildrye

Blue Wild Rye

Blue Fescue

Blue Oat Grass

Maiden Grass

Indian Ricegrass

Fountain Grass

Giant Feather Grass

Belsera

DEVELOPMENT STANDARDS COMPLIANCE CHECKLIST

This checklist must be submitted with an application for any building permit for Belsera.

Name of Project: _____
Developer: _____
Developer's Agent: _____
Address: _____

Phone: _____
Fax: _____

The following items are required for review by the Community Development Department prior to obtaining a building permit. Please refer to appropriate section in this SPD Handbook for specific standards.

For proposed development:

- Letter from Master Developer or ARC as applicable explaining how the plans are in conformance with the SPD Development Standards Handbook.
- A minimum of three (3) copies of the building plans stamped and signed by the master developer certifying that the plans are in conformance with the SPD Development Standards Handbook.

Note: The City of Reno may require changes to the plans after submittal. This process does not relieve the project developer from the responsibility for obtaining all necessary review and approvals of these changes from the master developer.

Subdivision:

- Site Plan illustrating:
 - structure locations
 - access from public street(s)
 - setbacks
 - location of free-standing signs
 - parking area/driveways
- Architectural Elevations - all four sides
- Landscape and irrigation plan (on-site and any required perimeter landscaping) per Handbook/RMC requirements
- Fencing Plans

Allowed Uses:

- Single family dwellings of permanent nature
 - Accessory buildings customarily incident to single family home (maximum size 75 square feet)
 - Temporary sales office and model homes
 - In home day care for number of children legally permitted with one care giver
 - Structural additions to the original house approved by Belsera Homeowner's Association
 - Home Occupation in accordance with RMC

Prohibited Uses:

- No recreational vehicle, boat or trailer storage is allowed outside of garages.
- Conversion of garages into living space or used exclusively for storage.
- Second story decks.

Parking:

- Minimum two (2) car garage and two (2) parking spaces in driveway per lot.

Yards/Building Setbacks:

- Minimum Lot Area: 7,000 sq. ft. for lots 1-27, 49 and 50.

- Front Yard 15,000 sq. ft. for lots 28-48.
10 feet minimum with 15 feet required on 25% of lots; 20 foot minimum driveway length.
- Side Yard 5 feet one side and 7.5 feet on the other side from property line with exception of entry pavilion (refer to Building Setbacks in this Handbook on page 4).
- Rear Yard 10 feet from property line with the exception that lots 28-48 shall be 10 ft. from Common Area Easement Line as shown on final map.

Projections into Required Setbacks:

- Entry pavilion may project 2.5 feet into 7.5 foot side setback on a minimum of 60% of the lots..
- The main floor decks on Lots 28 through 48 can project a maximum of 10 feet into the rear setback, refer to page 4. There will be no decks allowed on second story.

Building Height: 2 story (includes walk-out basement) 25 feet, building height is measured from average grade around the house to the ceiling of top floor.

Minimum Useable Rear Yard: 500 square feet.

Accessory Buildings:

- Must be located behind main structure.
- Rear and side setbacks are same as required for house.
- Maximum overall height: 12 feet.
- Minimum distance from main structure: 10 feet.
- Building shall be approved by Belsera Homeowner's Association prior to submittal for a building permit.
- Maximum aggregate square footage: 75 square foot floor area.

Landscape Requirements:

- A landscape and irrigation plan prepared by a licensed landscape architect shall be submitted to City staff for review and approval prior to issuance of a building permit on each lot.
- Street Trees: minimum of 2" deciduous and/or 6 feet tall evergreen trees per lot except one tree per lot shall be provided for lots at the end of the cul-de-sacs where lot width is 30 feet.
- A final site landscape and irrigation plan prepared by licensed landscape architect shall be submitted to City staff for review and approval prior to approval of final map or building permit as applicable.

Fencing:

- Six foot solid fencing is allowed between homes.
- From rear of all houses fencing can be a maximum height of 4.5 feet to the rear lot line and can be either solid or open fencing.
- Rear lot fencing installation will be determined by the homeowner and installed by developer.
- No chain-link fencing.
- Interior court yard stucco fencing/wall is excluded and limited to 6 feet in height.
- No front yard fencing shall be allowed.



RECEIVED

APR 20 1999

JEFF CODEGA PLANNING &
DESIGN, INC.

Office of the City Clerk

Donald J. Cook
City Clerk
P.O. Box 7
Reno, NV 89504

Telephone (702) 334-2030
Fax (702) 334-2432 - email dcook@reno.gov

April 14, 1999

FILED THIS DATE

4, 14, 99

BY: 
CITY CLERK

Wm. Bogard Company of Nevada
1281 Terminal Way, Suite 201
Reno, NV 89502

RE: Case No. 171-99 (Belsera Subdivision) - AMENDED LETTER (Supercedes
February 26, 1999, Clerk's Letter)

Dear Applicant:

At a regular meeting held February 23, 1999, and following a public hearing thereon, the City Council upheld the recommendation of the Planning Commission and approved your request for the following:

- A. Annexation of ± 23.56 acres, by ordinance;
- B. A zoning map amendment from SFR-9 (Single Family Residential-1 du/9,000 sq. ft.) on ± 3.34 acres and from LLR-2.5 (Large Lot Residential - 2.5 acres) upon annexation on ± 23.56 acres to SPD (Specific Plan District) on ± 26.9 acres, by resolution of intent, subject to the modifications to the SPD Handbook standards as contained in the attached Exhibit A and Exhibit 2;
- C. A tentative map to develop a 50 lot single family residential subdivision on a ± 26.9 acre site is located along the south side of McCarran Boulevard at its intersection with the Steamboat Ditch, $\pm 1,600$ feet west of its intersection with Greensboro Drive, subject to the following conditions; and
- D. Special use permits to allow: (1) hillside development; and (2) cuts of 20 feet or more and fills of 10 feet or more, subject to the following conditions:

All conditions shall be met to the satisfaction of Community Development Department staff, unless otherwise noted.

Zoning Map Amendment:

- A. (1) The SPD Handbook shall incorporate the changes indicated in the attached Exhibit A, the conditions of approval contained in the staff report and any other revisions deemed appropriate by the Planning Commission and City Council at their respective public hearings. No construction activity shall take place on the ±26.9 acre site until the SPD ordinance is in effect on the property.
- (2) The applicant shall revise and submit a final Development Standards Handbook and a statement of purpose and plan to staff within four months of the date of City Council approval; any revisions and corrections required by staff must be completed within two months from the date of notification by staff. Failure to comply with either of these time limits shall render this approval null and void.

Tentative Map and Special Use Permit:

1. The project shall comply with all applicable City codes, and plans, reports, materials, etc., as submitted. In the event of a conflict between said plans, reports and materials and City codes, City codes in effect at the time the building permit is applied for, shall prevail.
2. The applicant shall record the final map in accordance with the time limit contained in state law or this approval shall be null and void.
3. Prior to approval of a final map, the applicant shall institute a homeowners association with CC&R's to provide for maintenance of all common area improvements such as private streets, private drainage improvements, rockery walls, landscaping, signs, common area features, etc. The CC&R's shall be recorded concurrently with the final map with the appropriate recordation fee provided to staff by the applicant.
4. Prior to approval of a final map or issuance of a grading permit, whichever occurs first, the applicant shall demonstrate that the color of all rockery walls will be consistent with areas in which they will be placed.

5. Prior to approval of a final map or issuance of a grading permit, whichever occurs first, the applicant shall have approved a final rockery wall, landscaping/slope revegetation and irrigation plan consistent with the tentative map and the SPD standards. Any deviation from these plans shall require re-review of the project by the Planning Commission. The landscaping/slope revegetation and irrigation improvements shall be installed as soon as the rockery walls and associated grading are completed unless these improvements are bonded due to it being the non-growing/planting season as outlined in City code. All areas to be landscaped shall provide 75% vegetative coverage; and all areas to be revegetated shall provide 50% vegetative coverage within 3 years of the date of planting, with verification provided by a licensed landscape architect. The plans shall provide for stockpiling of top soil and vegetative strippings which shall be reapplied to all slope revegetation areas. Temporary irrigation, as necessary, and bonding to ensure proper re-establishment shall be required.
6. Prior to approval of a final map or grading permit, whichever occurs first, the applicant shall have plans approved to show the limits of grading and installation of appropriate barriers (e.g., hay bales, silt fencing) to prevent sediments and runoff from entering the Steamboat Ditch.
7. Prior to approval of a final map, the applicant shall enter into an agreement with the City to provide for maintenance of the median landscaping within the public portion of Belsera Drive.
8. All sanitary sewers shall be Public.
9. All storm drainage shall be Public with no contribution to the Steamboat Ditch, except for surface rear yard sheet flow only if accepted by the ditch company.
10. All retaining walls shall be constructed with mass grading. Walls shall require separate building permits and 701 inspections.
11. Paved access for maintenance equipment shall be provided to all sanitary and storm drain manholes not located in paved streets. This includes any off-site existing sewer manholes.
12. Prior to Council approval of any final map, the applicant shall submit a sewerage report to the approval of the City Engineer.

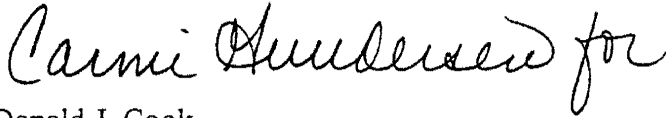
13. To prevent damage to structures due to storm waters over-topping the curb, building pads (finish grade) shall be set a minimum of one foot above the top of curb located at the point of primary access, or drainage around building pads shall be designed such that no building shall be subject to flooding as a result of storm waters over-topping the curb or driveway approach along any public or private street.
14. Prior to the issuance of any permit, the applicant shall comply with the Quality Assurance Program as set forth in the Public Works Design Manual, Chapter VI, titles "Inspection, Testing and Verification" and "Quality Assurance Program".
15. Left turn egress from the site onto McCarran Boulevard is prohibited. Prior to the issuance of any certificate of occupancy, the applicant shall complete site access improvements to the approval of the City Engineer, including but not limited to eastbound acceleration and deceleration lanes, intersection warning signs, a minimum of two 400 watt street lights, westbound left turn lane and related median modifications and restoration of the guardrail adjacent to the new improvements.
16. Prior to approval of a final map, the applicant shall offer for dedication an access easement for the property to the west (APN 222-080-01). The applicant shall enter into an agreement with the City of Reno to pave the road from Belsera Drive to the western property line at such time as determined necessary by the City of Reno staff.
17. Prior to Council approval of any final map, the applicant shall pay in cash to the City of Reno his proportionate share of the cost of installing bicycle lane signs and pavement markings on McCarran Boulevard.
18. Prior to approval of any final map, the applicant shall have an archaeological survey performed on the site to the satisfaction of State Historic Preservation Office and City staff. Should a resource of regional significance be found on the site, the applicant shall provide mitigation as determined appropriate by the consultant, State Historic Preservation Office and City staff, based upon the nature of the resource.

The zoning map amendment will become effective upon compliance with the conditions of the resolution of intent and passage and adoption of the appropriate ordinance.

A copy of this letter must be attached to your building plans when making application for a building permit with the Community Development Department.

Wm. Bogard Company of Nevada
Case No. 171-99 (Belsera Subdivision)
April 14, 1999
Page 5

Sincerely,



Donald J. Cook
City Clerk

DJC:cdg

xc: Development Services
Traffic Design Engineer
Ed Schenk, Parks, Recreation & Community Services
John Media, Development Services
State Historic Preservation Office
Regional Transportation Commission
✓ Karen Melby, Codega Planning & Design

EXPLANATION: *Matter in italics is new; Matter in brackets [] is material to be omitted.*

BILL NO. 5568

ORDINANCE NO. 5039

AN ORDINANCE TO AMEND CHAPTER 18.06 OF THE RENO MUNICIPAL CODE, ENTITLED "ZONING", BY ADDING A NEW SECTION REZONING A ± 26.9 ACRE SITE LOCATED ON THE SOUTH SIDE OF MCCARRAN BOULEVARD AT ITS INTERSECTION WITH THE STEAMBOAT DITCH $\pm 1,600$ FEET WEST OF GREENSBORO DRIVE FROM SFR-9 (SINGLE FAMILY RESIDENTIAL - 9,000 SQ. FT/DU) AND LLR-2.5 (LARGE LOT RESIDENTIAL - 2.5 ACRE) TO SPD (SPECIFIC PLAN DISTRICT); TOGETHER WITH OTHER MATTERS PROPERLY RELATING THERETO.

SPONSORED BY: RENO CITY PLANNING COMMISSION

THE CITY COUNCIL OF THE CITY OF RENO DO ORDAIN:

SECTION 1. Chapter 18.06 of the Reno Municipal Code is hereby amended by adding thereto a new section to be known as Section 18.06.040(b).728 relating to a ± 26.9 acre site located on the south side of McCarran Boulevard at its intersection with the Steamboat Ditch $\pm 1,600$ feet west of Greensboro Drive and more particularly described in the attached "Exhibit A" and the standards contained in the SPD (Specific Plan District) handbook as contained in "Exhibit B" and rezoning said property from SFR-9 (Single Family Residential - 9,000 sq. ft/du) and LLR-2.5 (Large Lot Residential - 2.5 acre) to SPD (Specific Plan District), the same to read as follows:

Sec. 18.06.040(b).728. The zoning of the City of Reno as heretofore established is hereby amended in the manner shown on the map labeled Case No. 171-99, thereby changing the use of land indicated therein, relating to a ± 26.9 acre site located on the south side of McCarran Boulevard at its intersection with the Steamboat Ditch $\pm 1,600$ feet west of Greensboro Drive, and more particularly described in the attached "Exhibit A" and the standards contained in the SPD (Specific Plan District) handbook as contained in "Exhibit B" and rezoning said property from SFR-9 (Single Family Residential - 9,000 sq. ft/du) and LLR-2.5 (Large Lot Residential - 2.5 acre) to SPD (Specific Plan District).

SECTION 2. This Ordinance shall be in effect from and after its passage, adoption and publication in one issue of a newspaper printed and published in the City of Reno.

SECTION 3. The City Clerk and Clerk of the City Council of the City of Reno is hereby authorized and directed to have this Ordinance published in one issue of the Reno-Gazette Journal, a newspaper printed and published in the City of Reno.

PASSED AND ADOPTED this 14th day of September, 1999, by the following vote of the Council:

AYES: Rigdon, Newberg, Hascheff, Herndon, Doyle, Aiazzi, Griffin

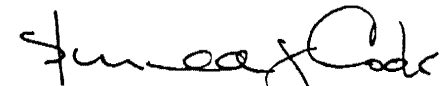
NAYS: None

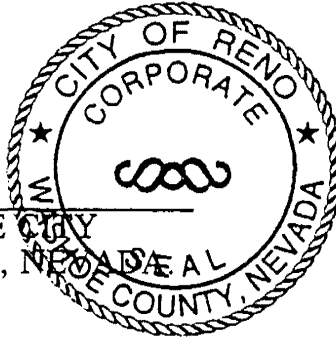
ABSTAIN: None ABSENT: None

APPROVED this 14th day of September, 1999.


MAYOR OF THE CITY OF RENO

ATTEST:


CITY CLERK AND CLERK OF THE CITY COUNCIL OF THE CITY OF RENO, NEVADA



EFFECTIVE DATE: September 17, 1999

Exhibit A

Legal Description

The following describes two parcels of land being contained within a portion of SE 1/4 of Section 27 and in the NE 1/4 of the NE 1/4 of Section 34, Township 19 North, Range 19 East, M.D.M., being more particularly described as follows:

Parcel 1 being a portion of the SE 1/4 of Section 27 and commencing at the northwest corner of Lakeridges Shores Subdivision, Unit No.1, Amended, as filed for record in the office of the County Recorder, Washoe County, Nevada, on February 19, 1975, File No. 355706 and running thence S. 04° 08' 31" E. 43.15 feet to the True Point of Beginning of this description, said point being the intersection of the southerly line of McCarran Blvd. with the westerly line of said subdivision;

thence continuing along said westerly line S. 04° 08' 31" E. 268.69 feet to a point on the south line of the SE 1/4 of said Section 27;

thence along said line N. 89° 10' 18" W. 844.42 feet to its intersection with the southerly line of McCarran Blvd;

thence along said southerly line of McCarran Blvd. on the following course and distance:

N. 55° 01' 50" E.	133.36 feet;
N. 79° 01' 10" E.	109.45 feet;
N. 60° 55' 25" E.	148.23 feet;
N. 69° 14' 55" E.	132.64 feet;
N. 80° 36' 12" E.	172.32 feet;
S. 88° 25' 57" E.	129.59 feet;
N. 74° 52' 59" E.	57.03 feet

to the True Point of Beginning, containing 3.36 acres , more or less.

Parcel 2 being a portion of the N.E. 1/4 of the N.E. 1/4 of Section 34.

EXCEPTING THEREFROM that portion lying East of Steamboat Ditch and being further described as a portion of the property described in Deed Recorded March 16, 1931, in Book 86, page 247, Document No. 54716, Deed Records;

The area west of the Steamboat Ditch contains 23.0 acres, more or less.

